



## PLANNING

Date: Monday 19 January 2026

Time: 5.30 pm

Venue: Rennes Room, Civic Centre, Paris Street, Exeter

Members are invited to attend the above meeting to consider the items of business.

If you have an enquiry regarding any items on this agenda, please contact Mark Devin, Democratic Services Officer - [democratic.services@exeter.gov.uk](mailto:democratic.services@exeter.gov.uk).

Entry to the Civic Centre can be gained through the Customer Service Centre, Paris Street.

*Membership -*

Councillors Knott (Chair), Rolstone (Deputy Chair), Asvachin, Atkinson, Banyard, Hughes, Hussain, Ketchin, Mitchell, M, Pole, Williams, M and Bennett

## PRESENTATIONS

### **Part I: Items suggested for discussion with the press and public present**

**5 Planning Application No. 25/0781/FUL - Mary Arches Street Car Park**

To consider the report of the Strategic Director for Place.

(Pages 3 - 90)

**6 Planning Application No. 25/0895/FUL & 25/0896/LBC - Site of Royal Clarence Hotel**

To consider the report of the Strategic Director for Place.

(Pages 91 - 130)

### **Date of Next Meeting**

The next scheduled meeting of the Planning Committee will be held on **Monday 9 February 2026** at 5.30 pm in the Civic Centre.

Find out more about Exeter City Council services by looking at our web site <http://www.exeter.gov.uk>. This will give you the dates of all future Committee meetings and tell you how you can ask a question at a Scrutiny Committee meeting. Alternatively, contact the Democratic Services Officer (Committees) on (01392) 265107 for further information.

**Individual reports on this agenda can be produced in large print on request to Democratic Services (Committees) on 01392 265107.**

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# Exeter City Council

## Planning Committee

### 19 January 2026

# **Application 25/0781/FUL**

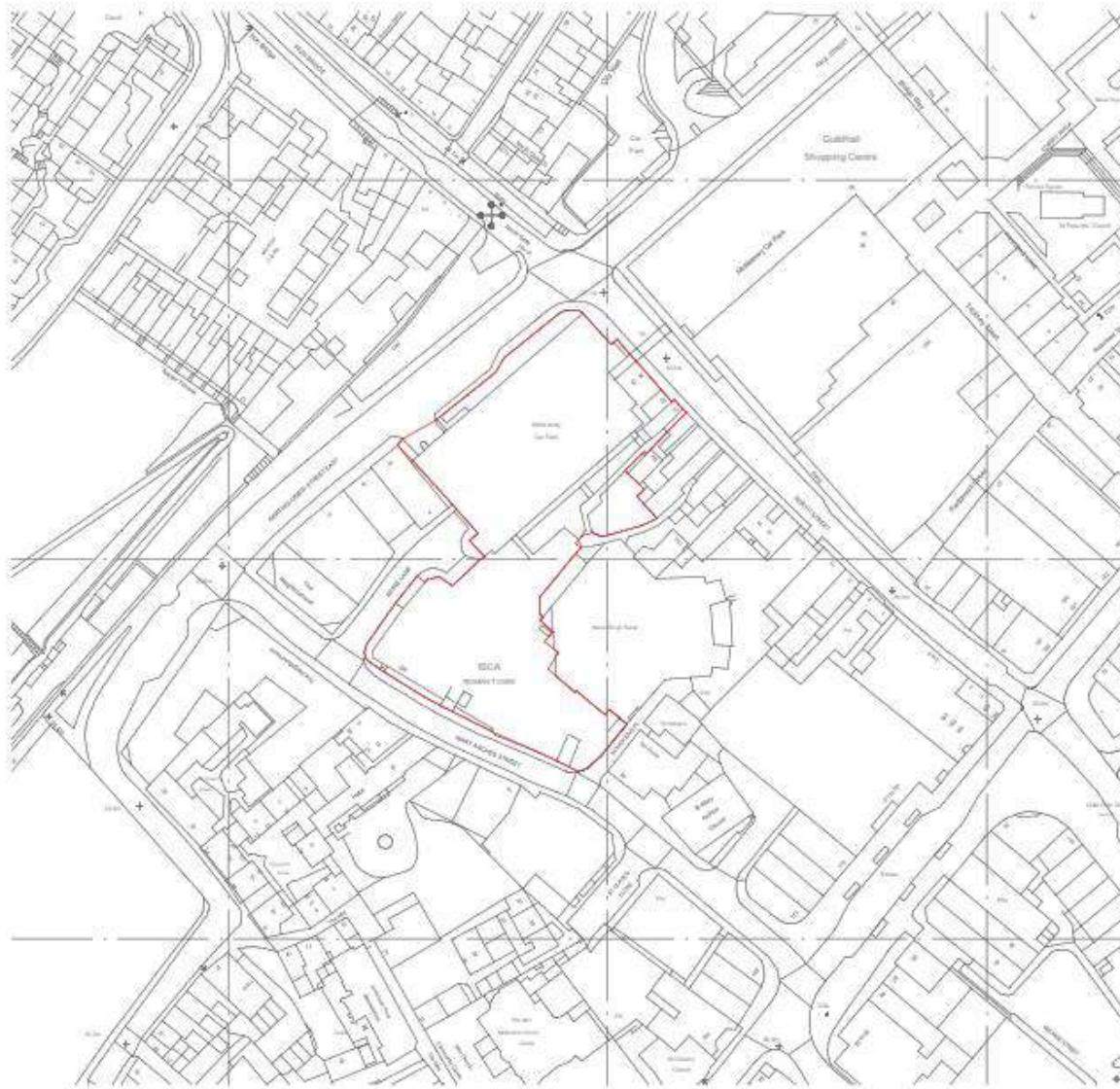
**Site: Mary Arches Street Car Park**

**Applicant: Eutopia Exeter Arches Ltd**

**Proposal: Demolition of multi-storey car park and construction of a co-living development alongside public realm improvements, landscaping, cycle and car parking, servicing, refuse and recycling provision, and associated works**

**Case Officer: Howard Smith**

# SITE LOCATION PLAN



Key

■ Planning Application Site Boundary

4.1 Primary Issue: **LC783** Date: **04/04/2013** By: **ALICE**

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www.ijerpi.org | 2020, Vol. 10, No. 1 | ISSN: 2231-1210 | DOI: 10.5120/ijerpi2020v10i1p1-10

Planning 50

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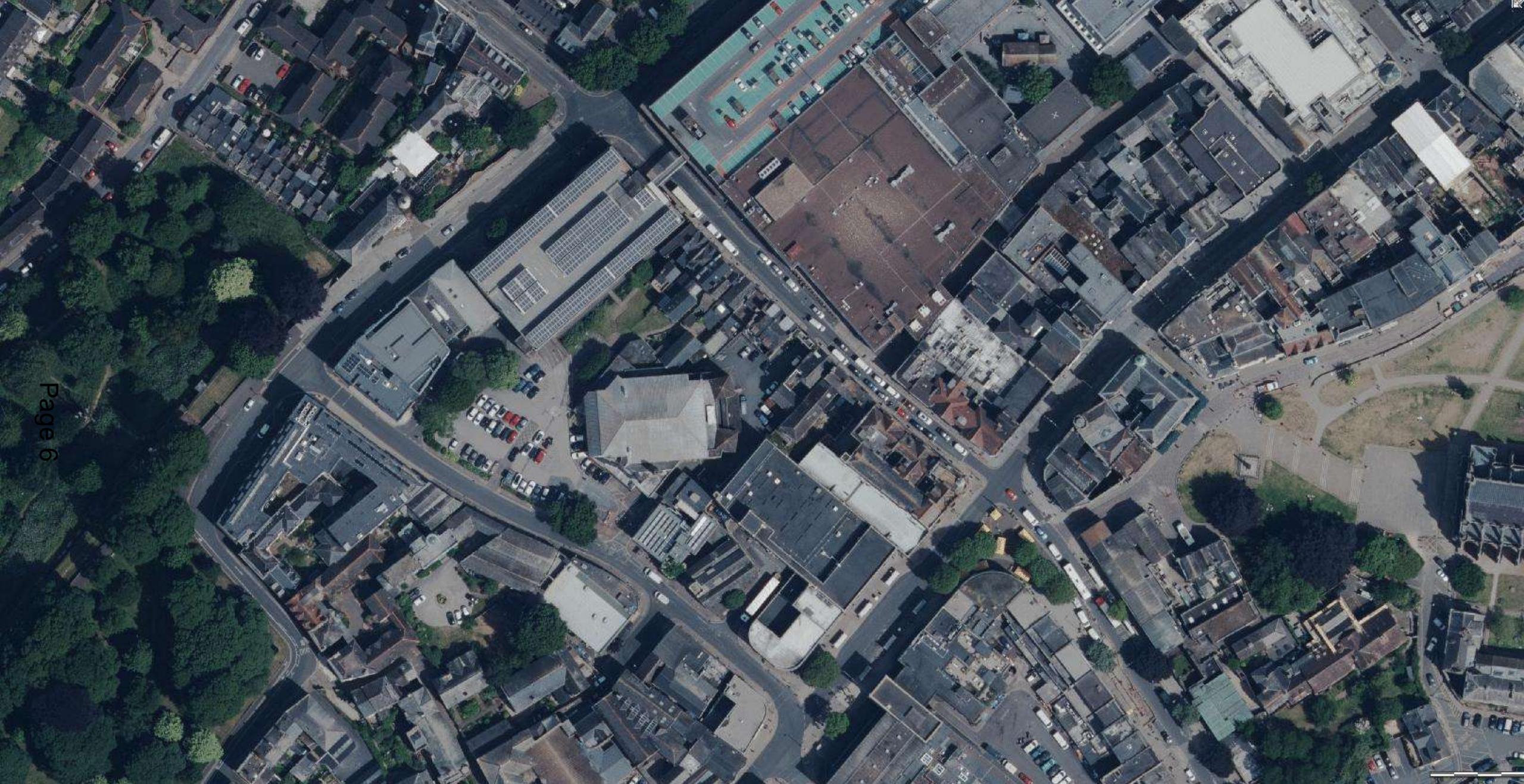
01-E0000

## Site Location Plan

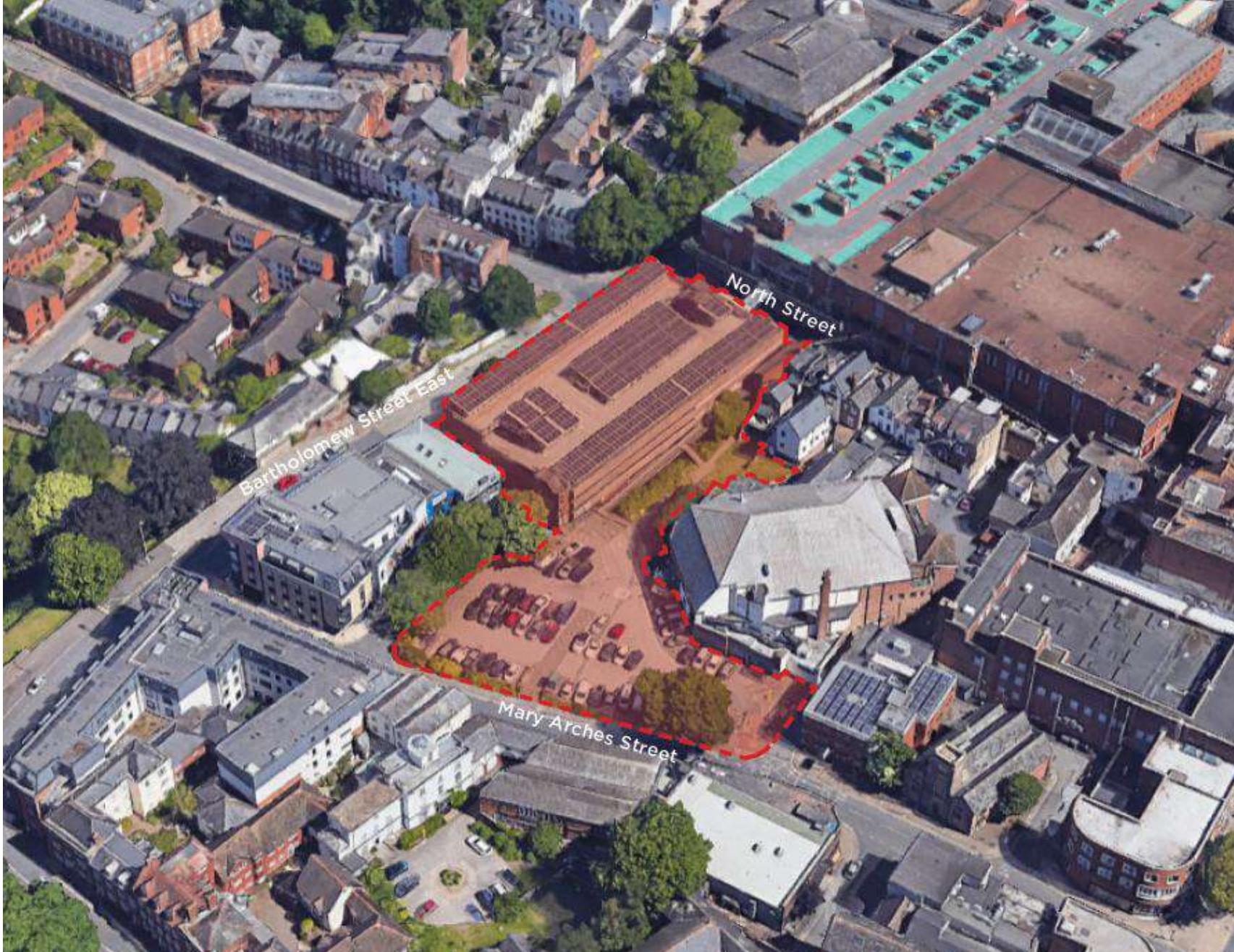
#### PROJECT

Mary Poppins, Easter

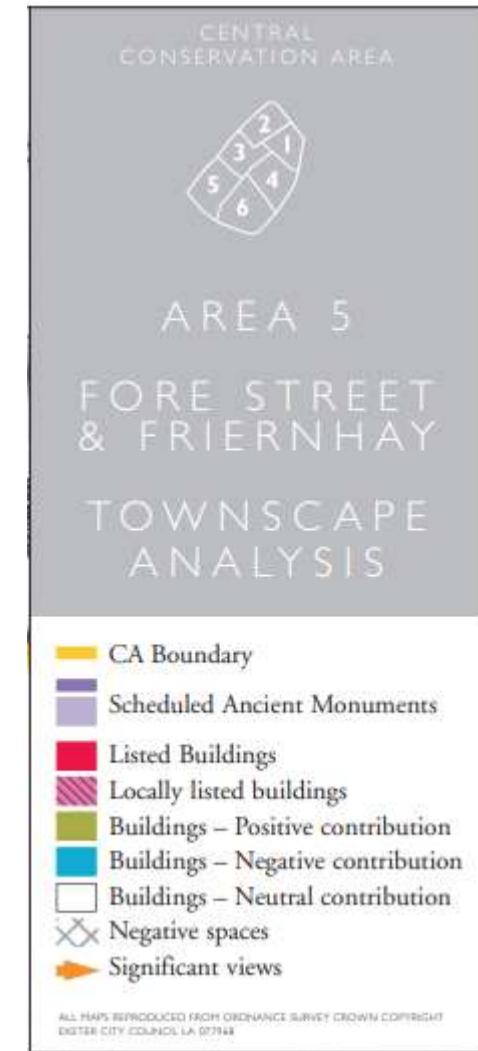
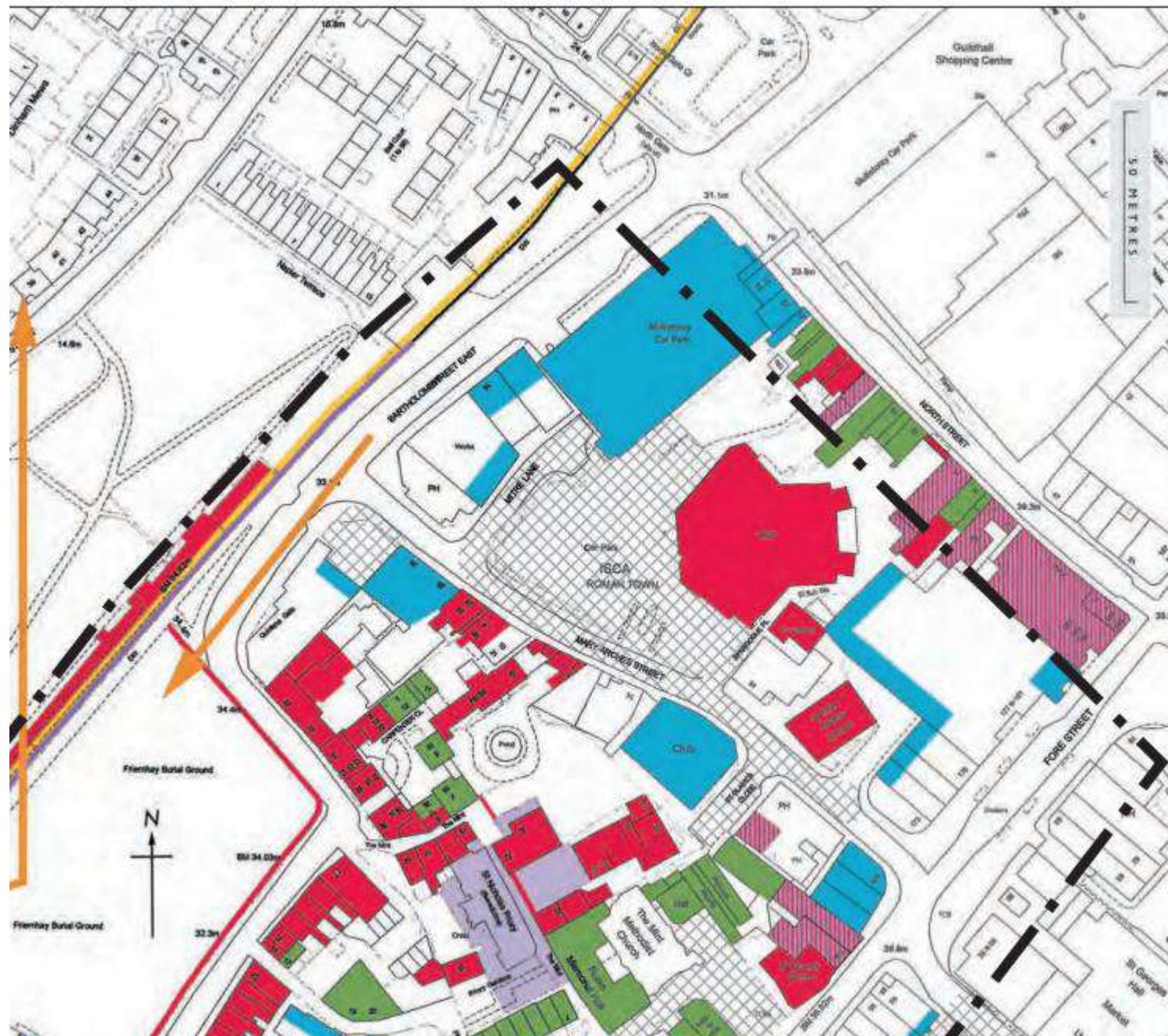
Digitized by srujanika@gmail.com



**AERIAL VIEW**

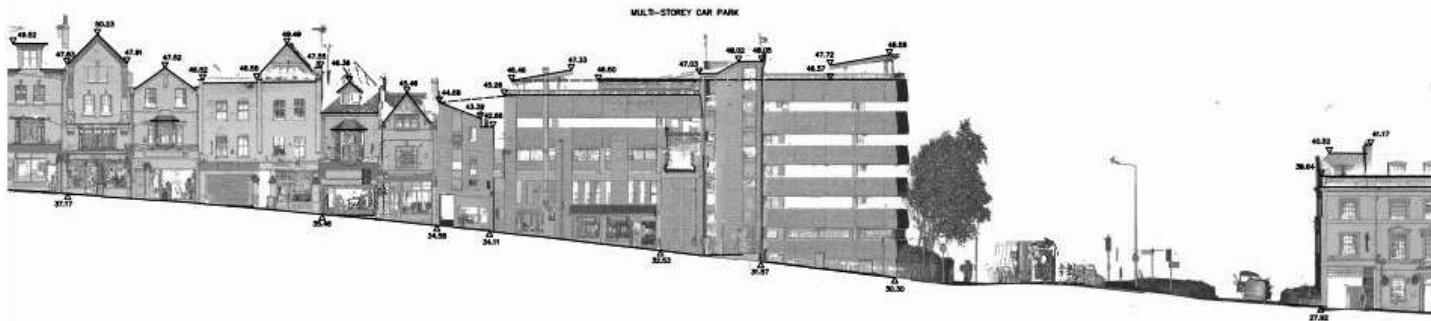


AERIAL VIEW

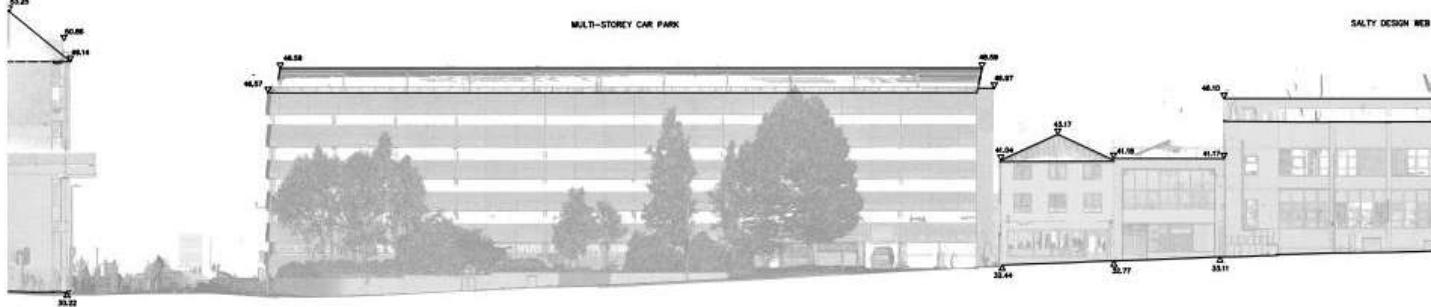


# CONSERVATION AREA APPRAISAL

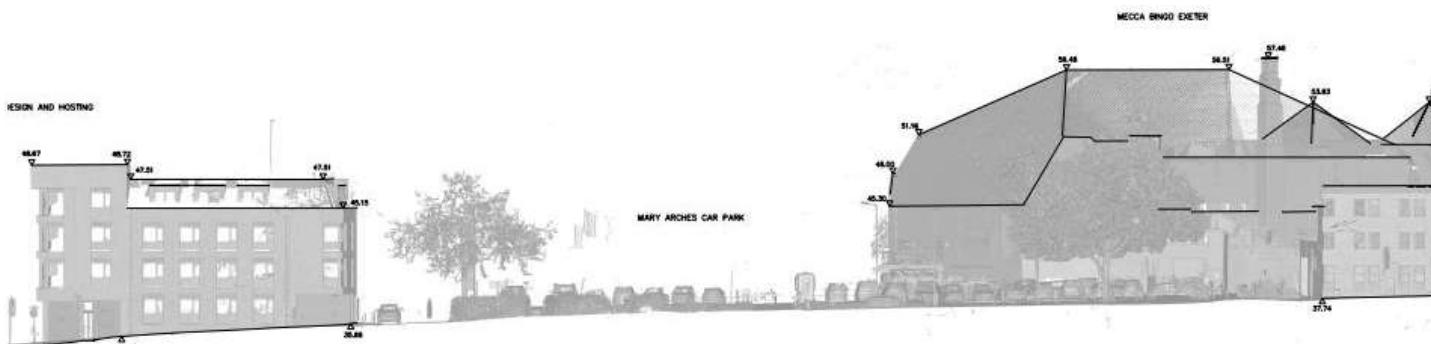
# Listed, Locally Listed Buildings & SAM



1 Existing North Street Elevation



**2 Existing Bartholomew Street Elevation**



# EXISTING ELEVATIONS

PI: Publishing Index 2000/01, ISSN 1062-1024

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#### ANSWER

### Key Elevations



# PHOTOS









# PHOTOS



PHOTOS

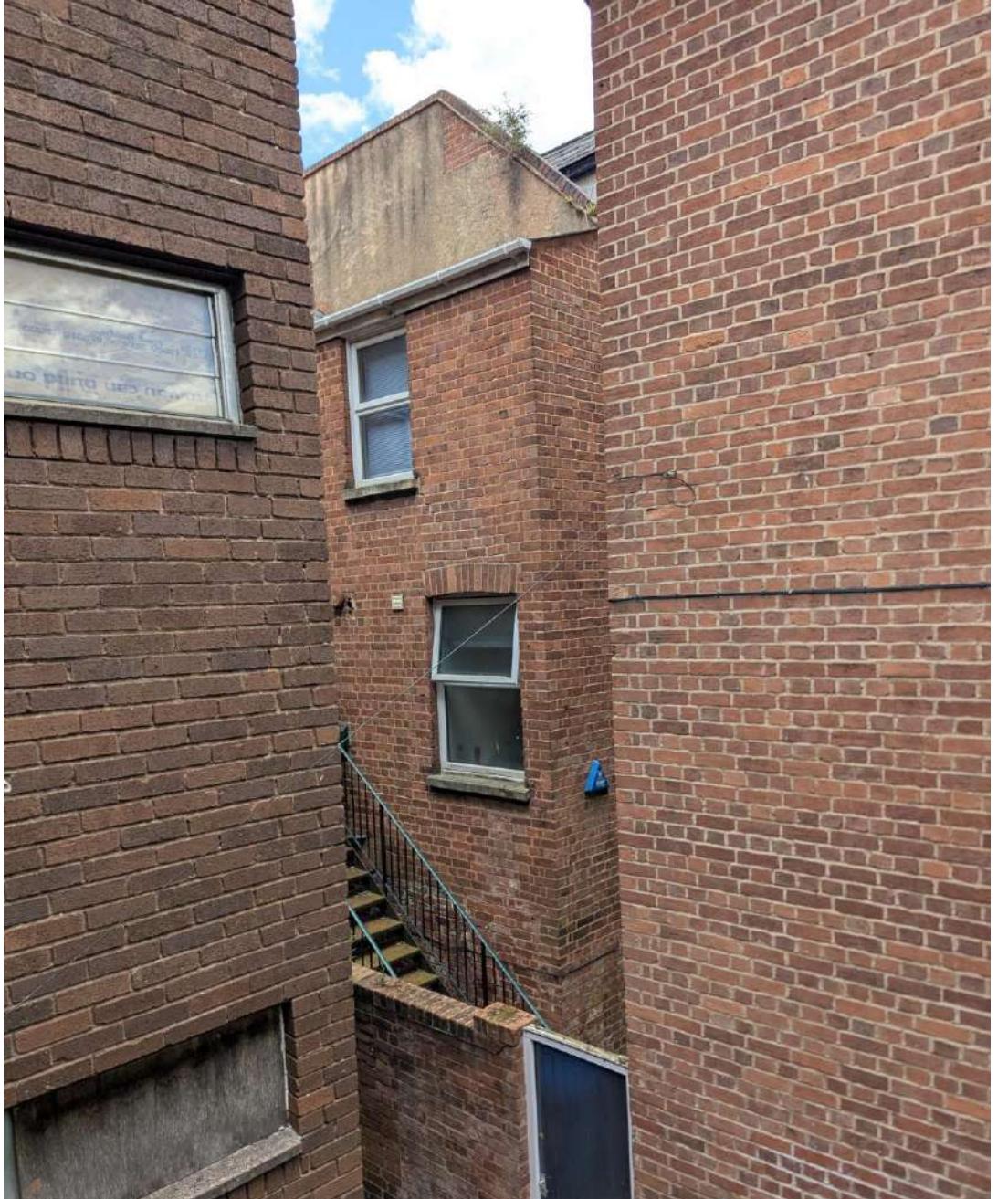








# PHOTOS



## PHOTOS





# PHOTOS



# PHOTOS



# PHOTOS



# PHOTOS





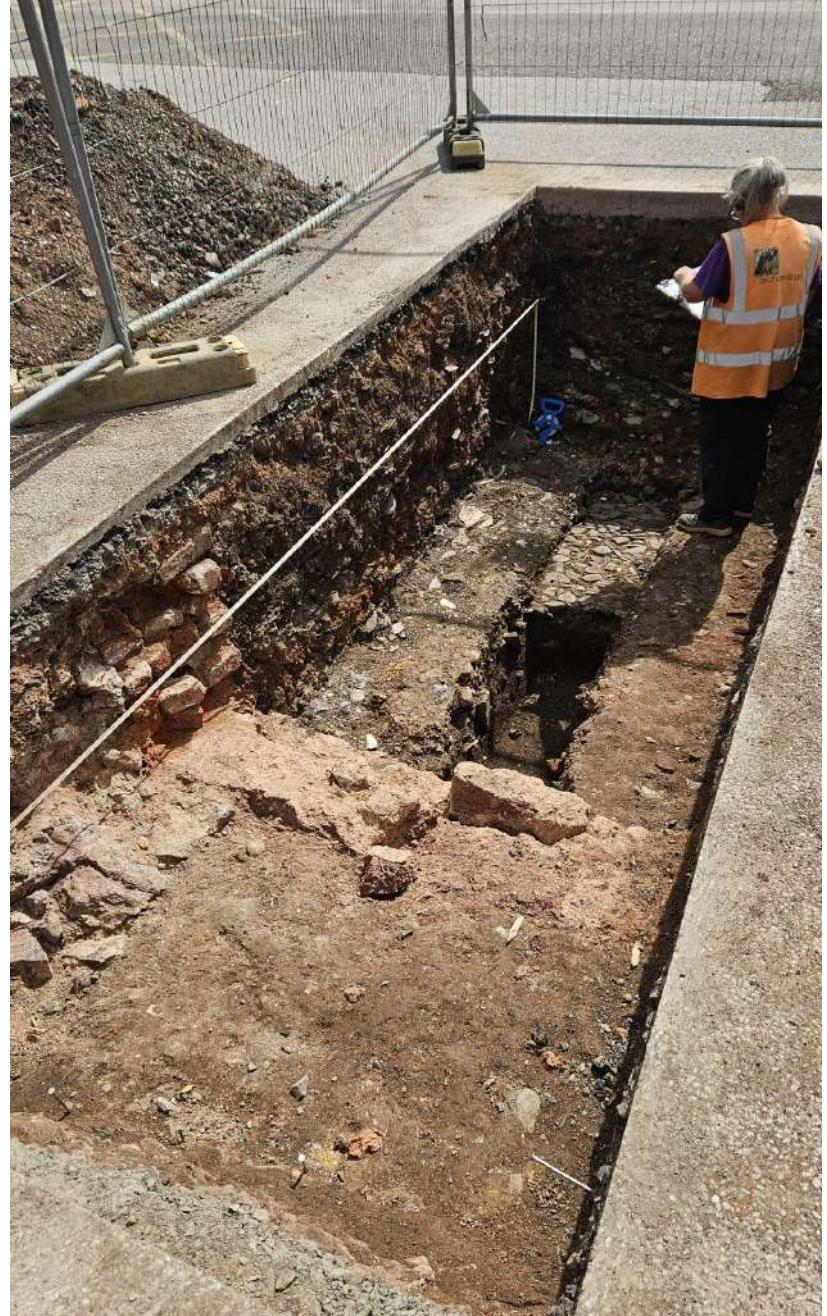
# PHOTOS



PHOTOS

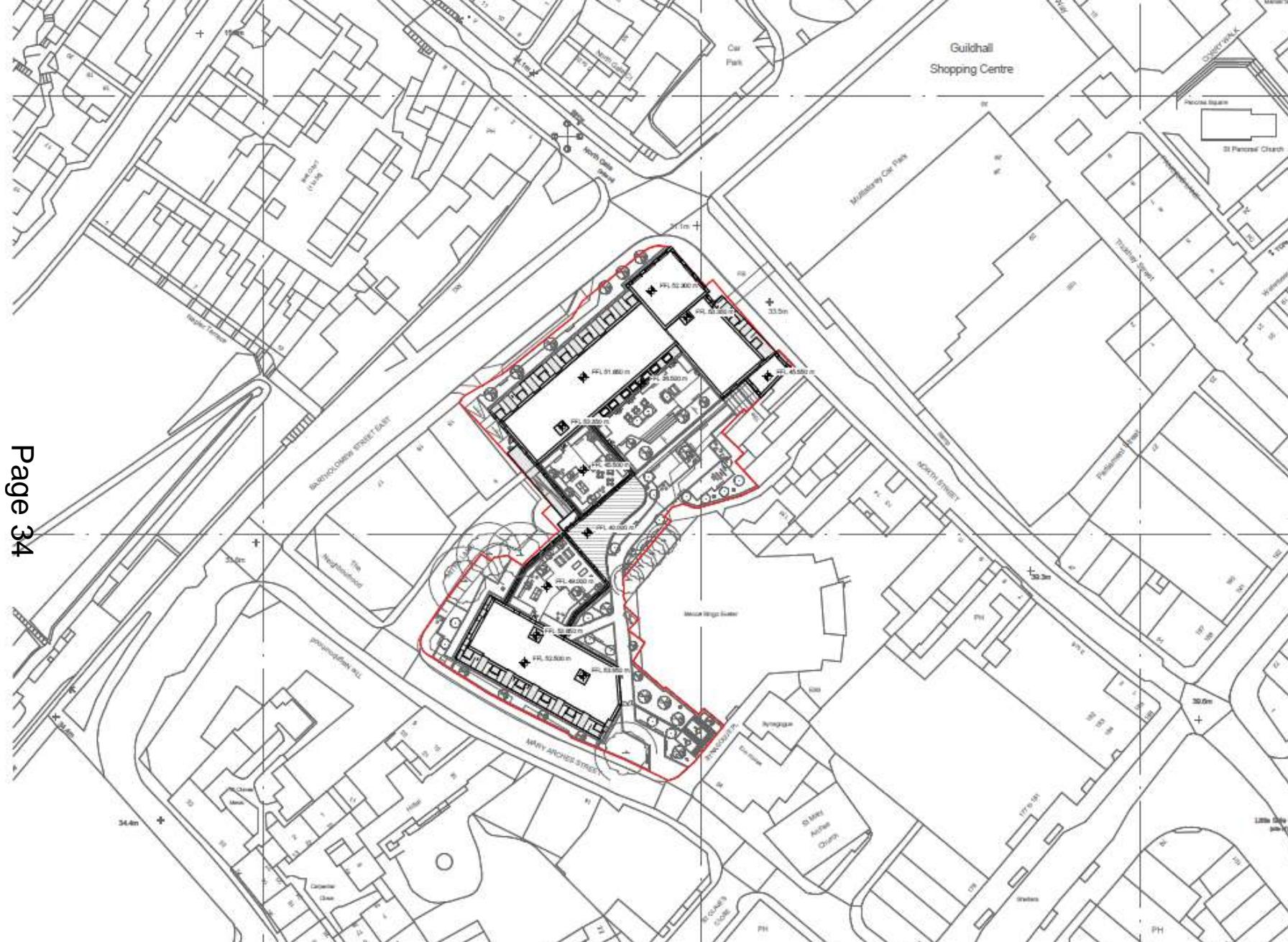


## PHOTOS





- Demolition of a six-deck multi-storey car park, with solar panel canopies on the upper open deck, and redevelopment of surface car park.
- Construction of Co-Living development in two blocks linked internally at ground level.
- Provision of 297 Co-Living Residential Units
- Provision of communal accommodation for both blocks including lounges, gym and studio, co-working, laundry, bin stores and cycle parking.
- Provision of A sunken courtyard garden, and rooftop (4<sup>th</sup> Floor) terrace on each block provide open amenity.



# PROPOSED SITE PLAN

Employer's Requirements documents, Agreements to Lease, Structural Engineers' Drawings and specifications, Civil Engineer's drawings and specifications, Survey Drawings, Party Wall Boundary Awards, Other specialist design consultants' requirements as appointed by the Main Contractor, Other specialist design sub-contractors' requirements as appointed by the Main Contractor.

PC Planning Version	1000000	SP	TM
PT Planning Name	0000000	CRM	TM
REV	NOTES	DATE	BY AUTH.

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Primary Glioma Type	Percentage (%)
Astrocytoma	100
Glioblastoma	95
Meningioma	85
Ependymoma	75
Oligodendroglioma	70

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**NOTES.**

Key

<input type="checkbox"/>	Standard Unit	<input type="checkbox"/>	Internal Amenity
<input type="checkbox"/>	Large Unit	<input type="checkbox"/>	External Amenity
		<input type="checkbox"/>	Facilities
		<input type="checkbox"/>	Ancillary & Plant

Planning Application Site Boundary

41	Planning for Jesus	20110108	IP	TP
20	Planning for Jesus	20110108	IP	TP
10	Planning for Jesus	20100605	IP	TP
11	Planning Jesus	20100605	IP	TP

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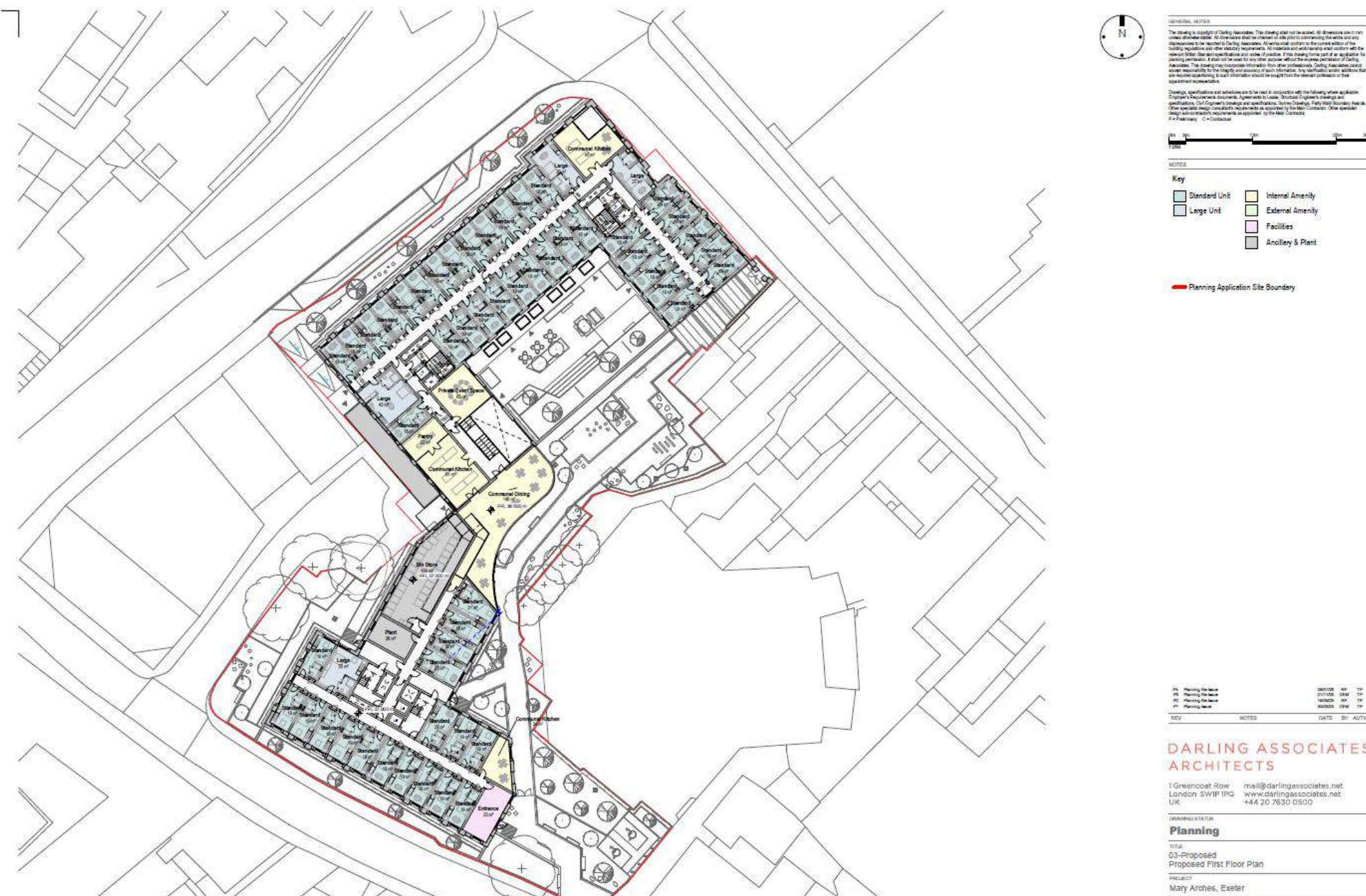
DRAWINGS STATUS

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**PROJECT**

# PROPOSED SITE PLAN – GROUND FLOOR

# PROPOSED SITE PLAN – 1<sup>st</sup> FLOOR



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#### GRÄVNINGA SI TÄITLUS

## Planning

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114

### 03-Proposed

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## Mary Arches, Exeter

ANSWER

# PROPOSED SITE PLAN – 2<sup>nd</sup> FLOOR





# PROPOSED SITE PLAN – 3<sup>rd</sup> FLOOR

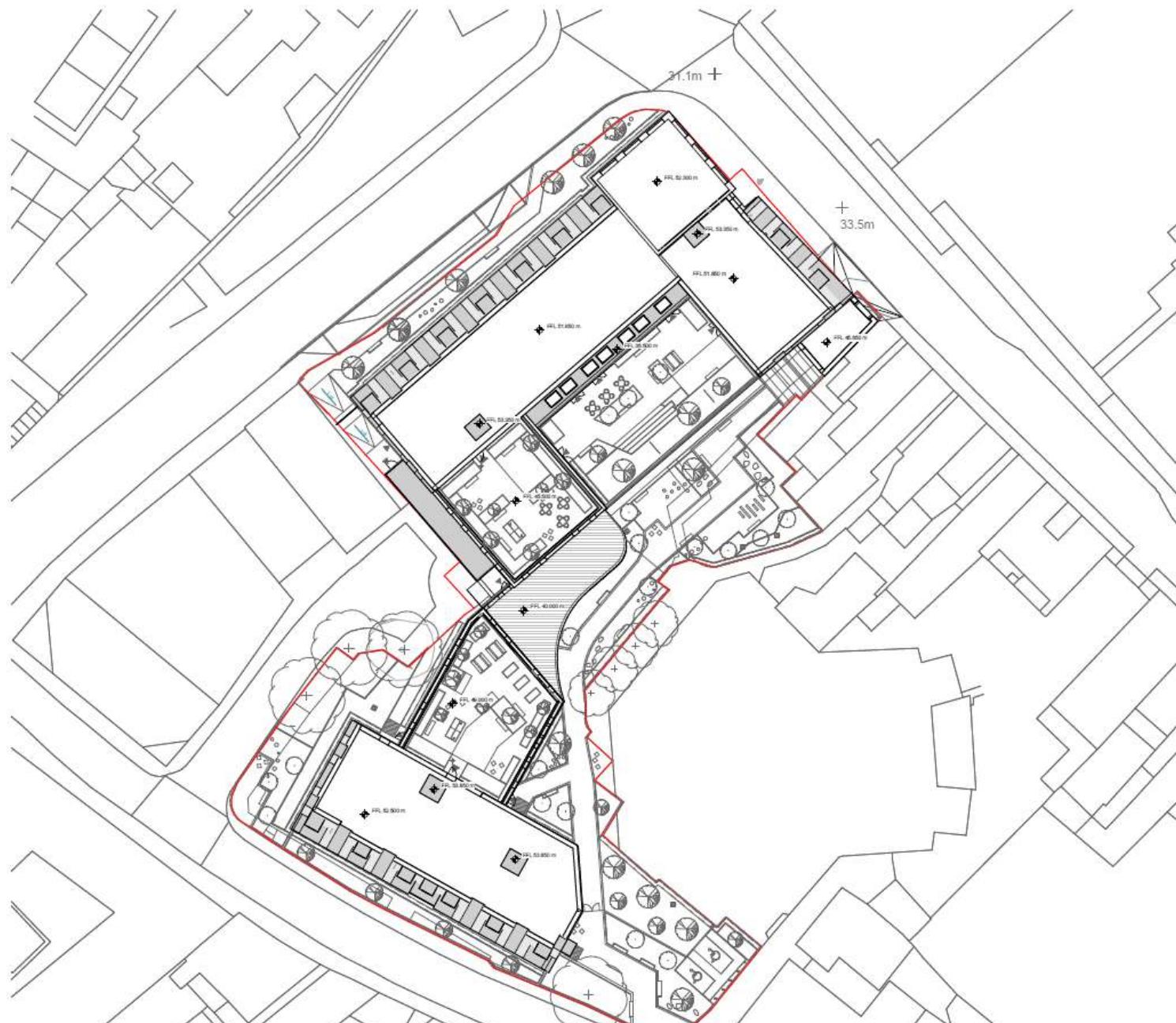


# PROPOSED SITE PLAN – 4<sup>th</sup> FLOOR

# PROPOSED SITE PLAN – 5<sup>th</sup> FLOOR



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 P = Preliminary C = Contractual

0m 10m 20m 30m 40m

NOTES \_\_\_\_\_

PL: Planning Application  
 PL: Planning The Application  
 PL: Planning The Application  
 PL: Planning The Application  
 REV: NOTES: DATE: BY AUTH:

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DRAWING STATUS: \_\_\_\_\_

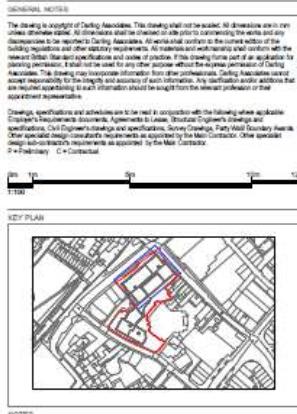
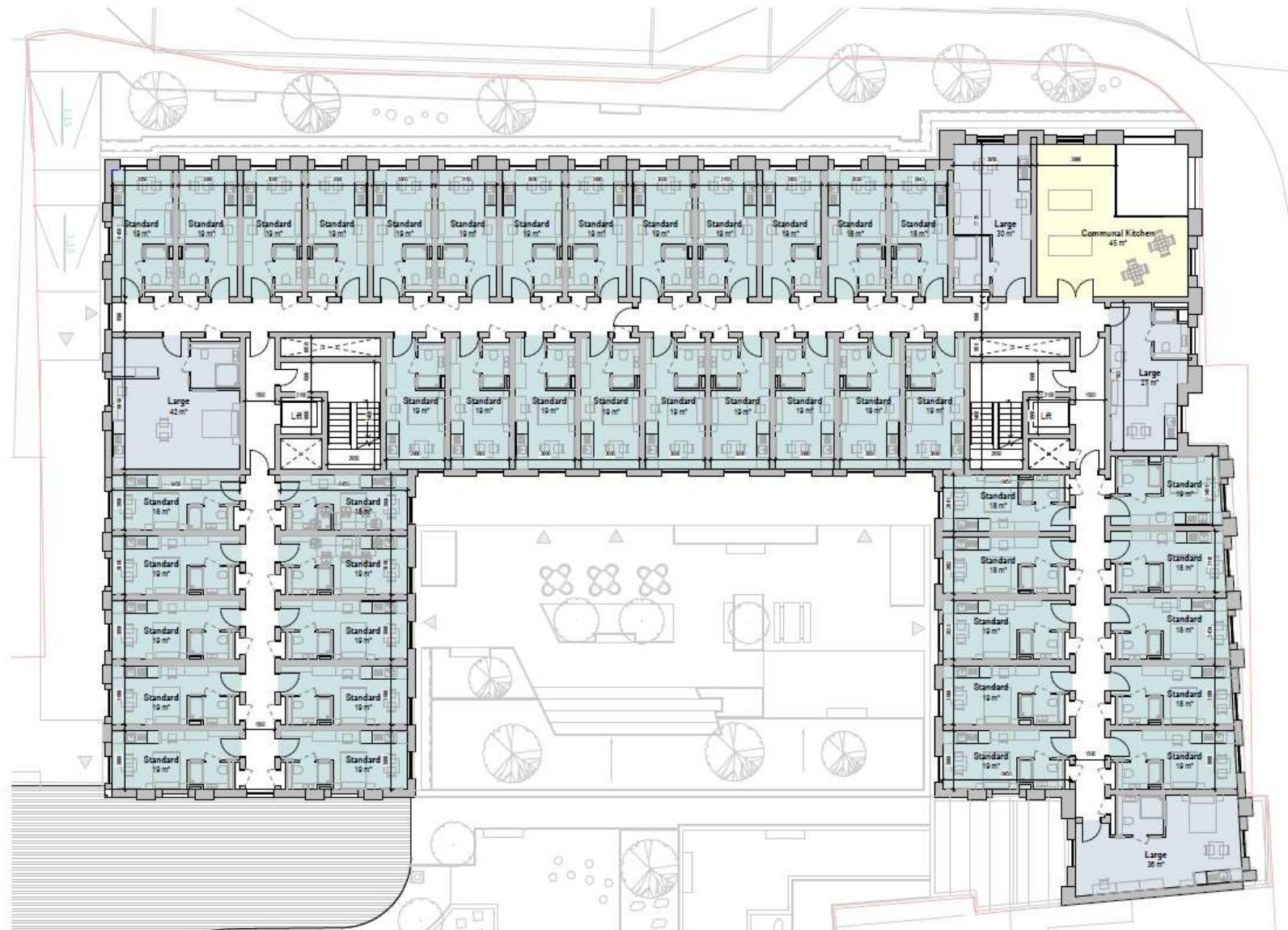
**Planning**

ITEM: 03-Proposed  
 PROJECT: Proposed Roof Plan  
 Mary Arches, Exeter

# PROPOSED ROOF SITE PLAN







PLANNING REF. NO. : 03-Proposed  
PLANNING REF. NO. : 03-Proposed  
PLANNING REF. NO. : 03-Proposed

NOTES

DATE BY AUTH

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DRAWING STATUS

Planning

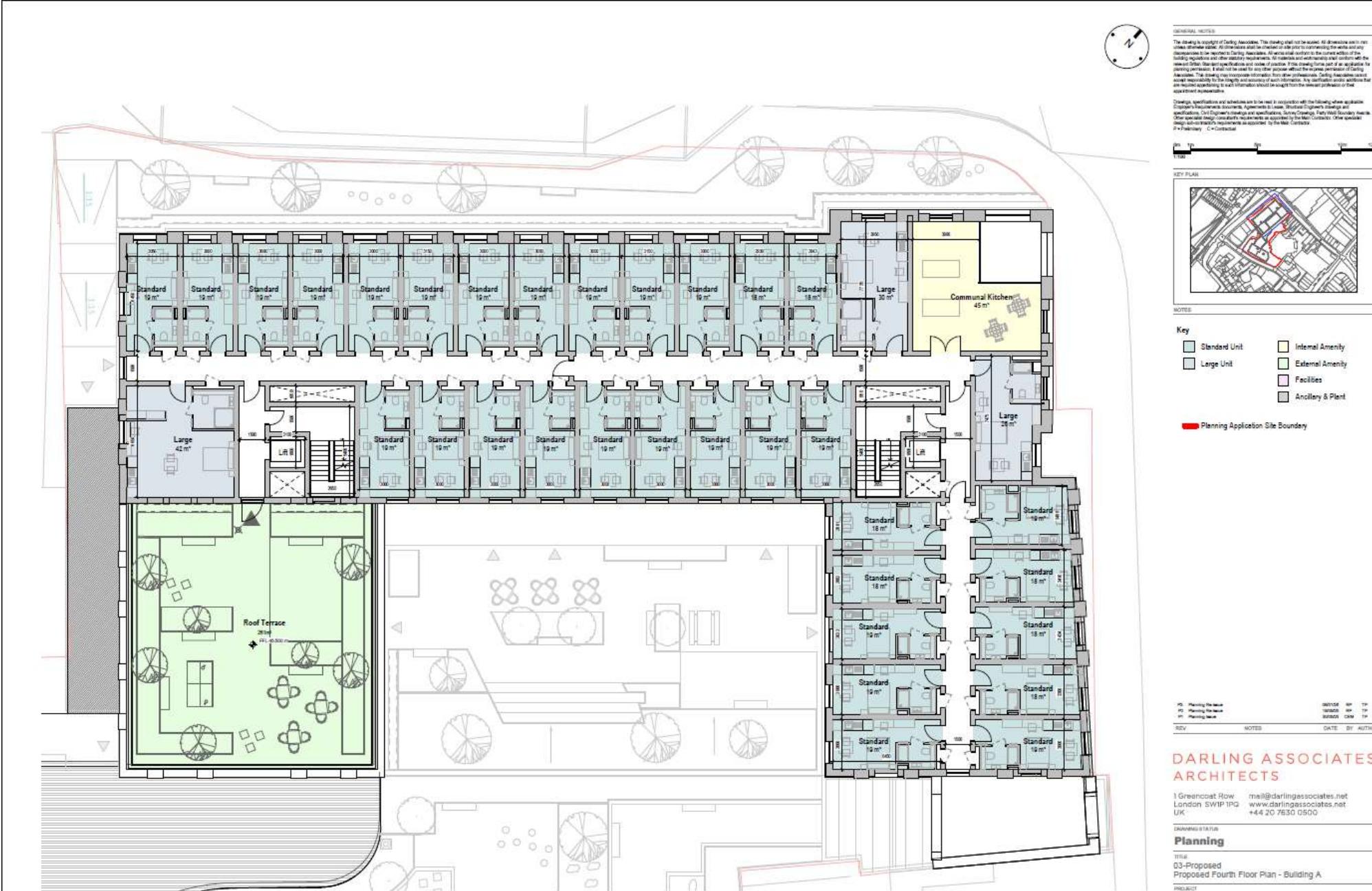
03-Proposed  
Proposed Second Floor Plan - Building A

PROJECT  
Mary Arches, Exeter

# PROPOSED BLOCK A 2<sup>nd</sup> FLOOR PLAN



# PROPOSED BLOCK A 4<sup>th</sup> FLOOR PLAN



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## Biocides

## Planning

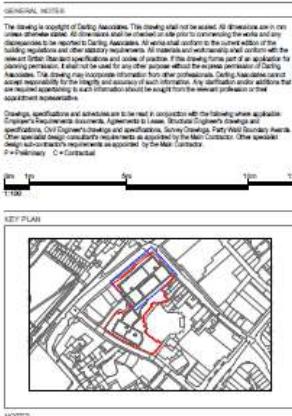
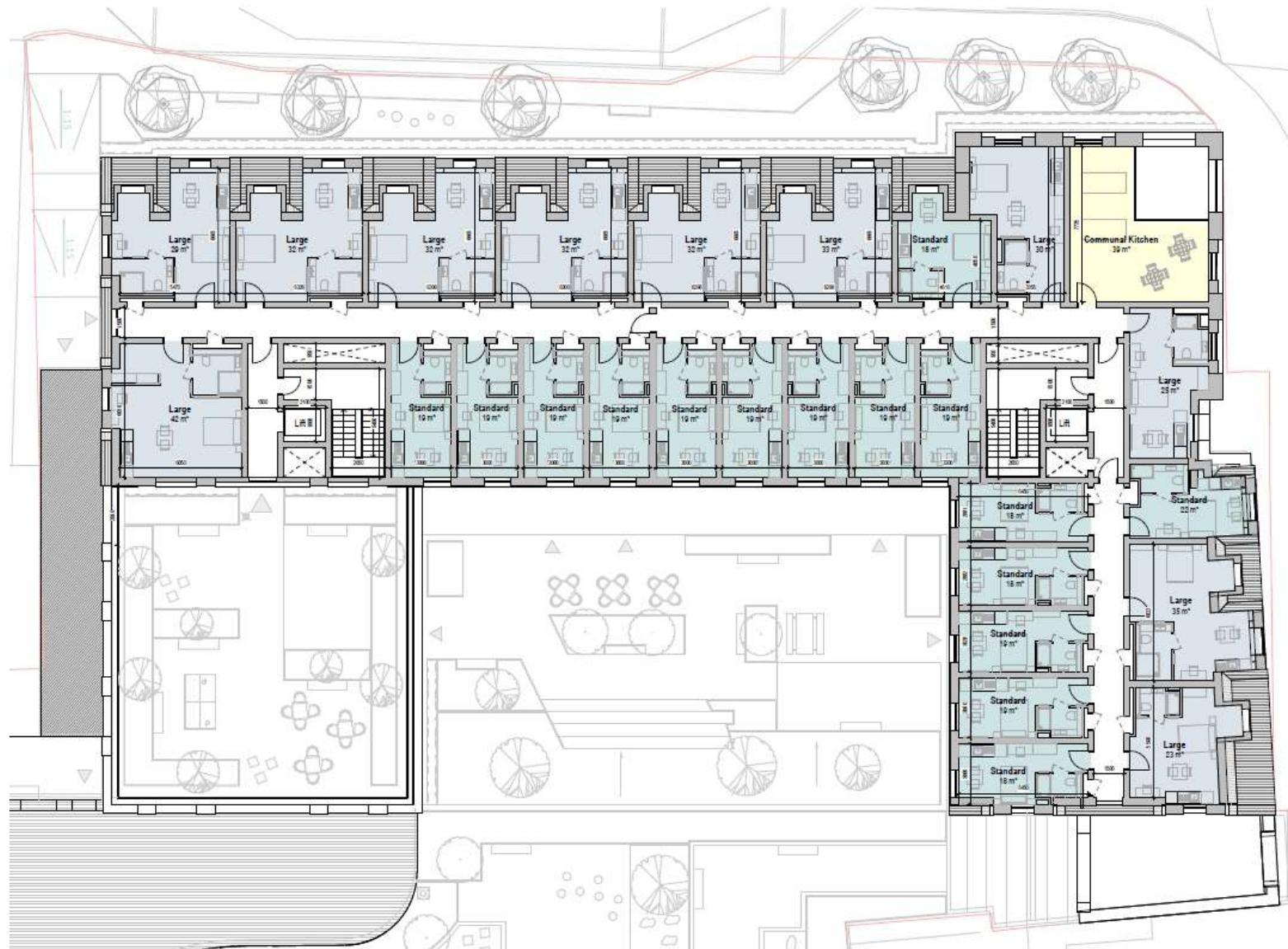
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### 6.2. Prepared

## Proposed Fourth Floor Plan - Building A

Journal website

## Mary Arches, Exeter



REF:  Planning Application No:  TP  
 DATE:  BY:  AUTH  
 NOTES:  DATE:  BY:  AUTH

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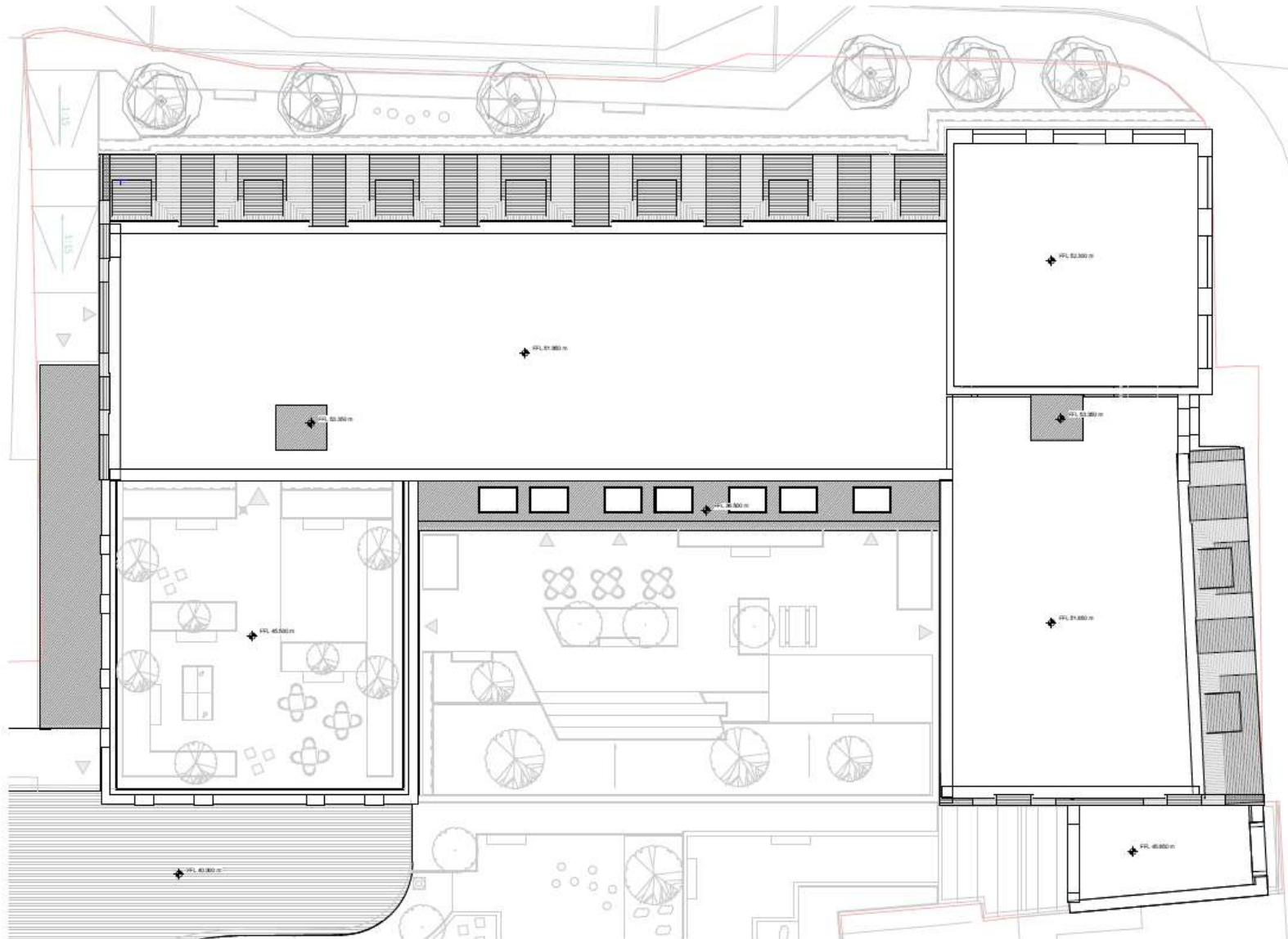
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 www.darlingassociates.net, +44 20 7630 0500

DRAWING STATUS:

**Planning**

Title:  03-Proposed  
 Project:  Proposed Fifth Floor Plan - Building A  
 Location:  Mary Arches, Exeter

# PROPOSED BLOCK A 5<sup>th</sup> FLOOR PLAN



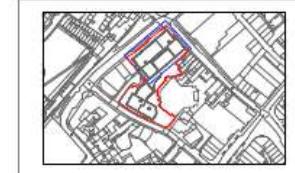
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P = Preliminary, C = Contractual

20m 10m 0m 10m 20m

**KEY PLAN**



**NOTES**

<b>Key</b>	
Standard Unit	Internal Amenity
Large Unit	External Amenity
	Facilities
	Ancillary & Plant

■ Planning Application Site Boundary

PLANNING DRAWING  
 DRAWN BY: [REDACTED] DATE: [REDACTED]  
 APPROVED BY: [REDACTED] DATE: [REDACTED]  
 REV: [REDACTED] NOTES: [REDACTED] BY: [REDACTED]

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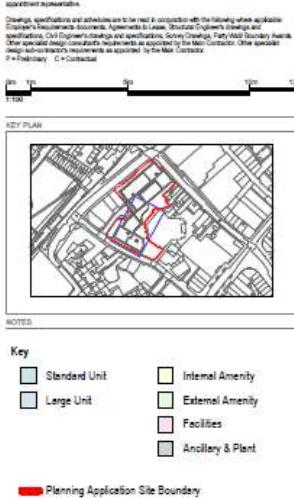
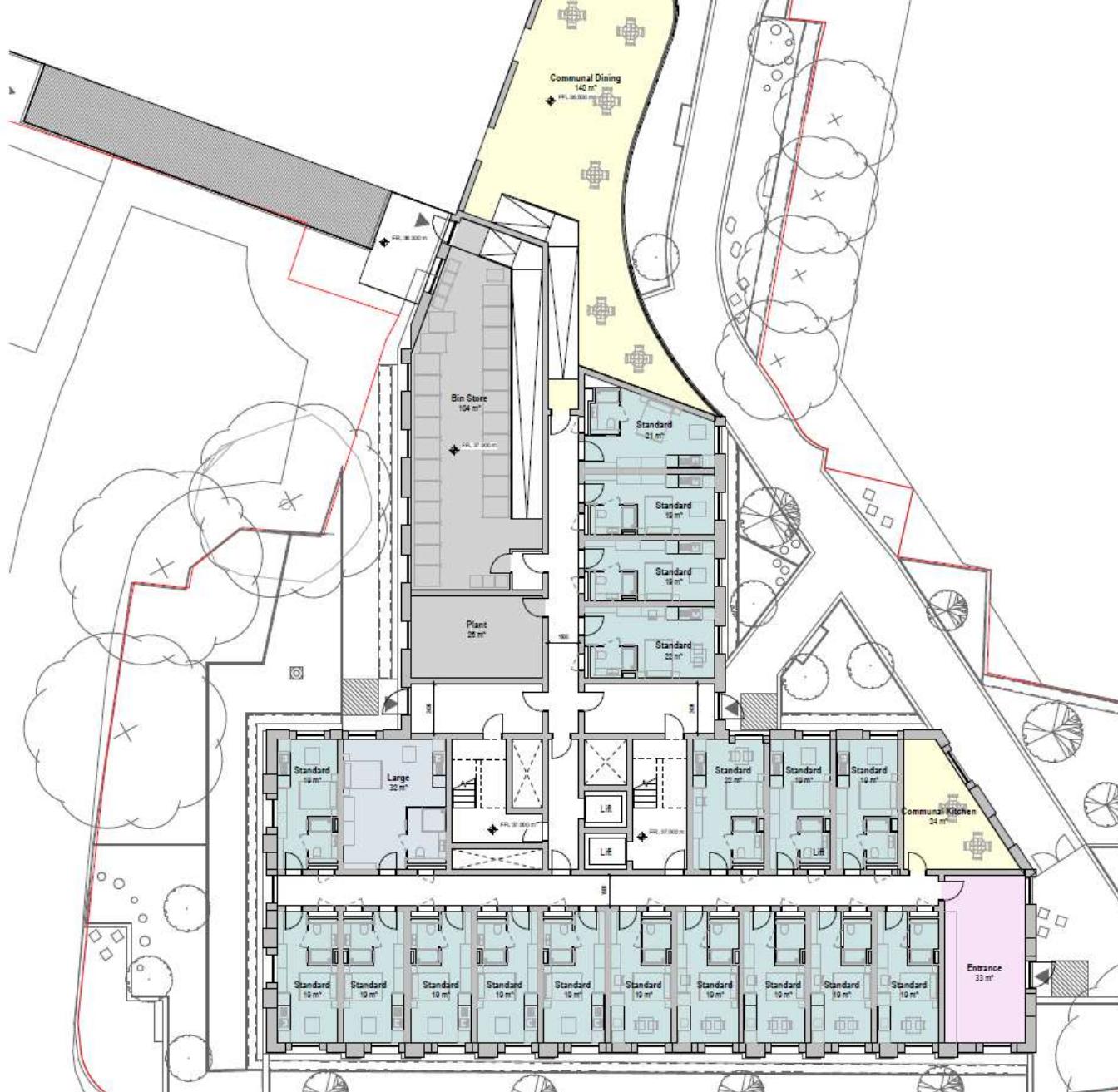
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**DRAWING STATUS**

**Planning**

TYPE: C3-Proposed  
 PROJECT: Proposed Roof Plan - Building A  
 PROJECT: Mary Arches, Exeter

# PROPOSED BLOCK A ROOF PLAN



PLANNING REFERENCE NO. 20010285/01/TP  
PLANNING NUMBER 20010285/01/TP  
PLANNING DATE 20/01/2001  
PLANNING AUTHORITY DORSET COUNTY COUNCIL  
RSV NOTES DATE BY AUTHORITY

**DARLING ASSOCIATES ARCHITECTS**

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**DRAWING STATUS**

**Planning**

FILE: D3-Proposed  
PROJECT: Proposed First Floor Plan - Building B  
LOCATION: Mary Arches, Exeter  
SCALE AT A1: 1:100  
SCALE AT A2: 1:200  
DRAWING NO.: 24018  
DRAWING: SMA-DAA-ZB-01-DR-A-PLB03101  
REV: P4  
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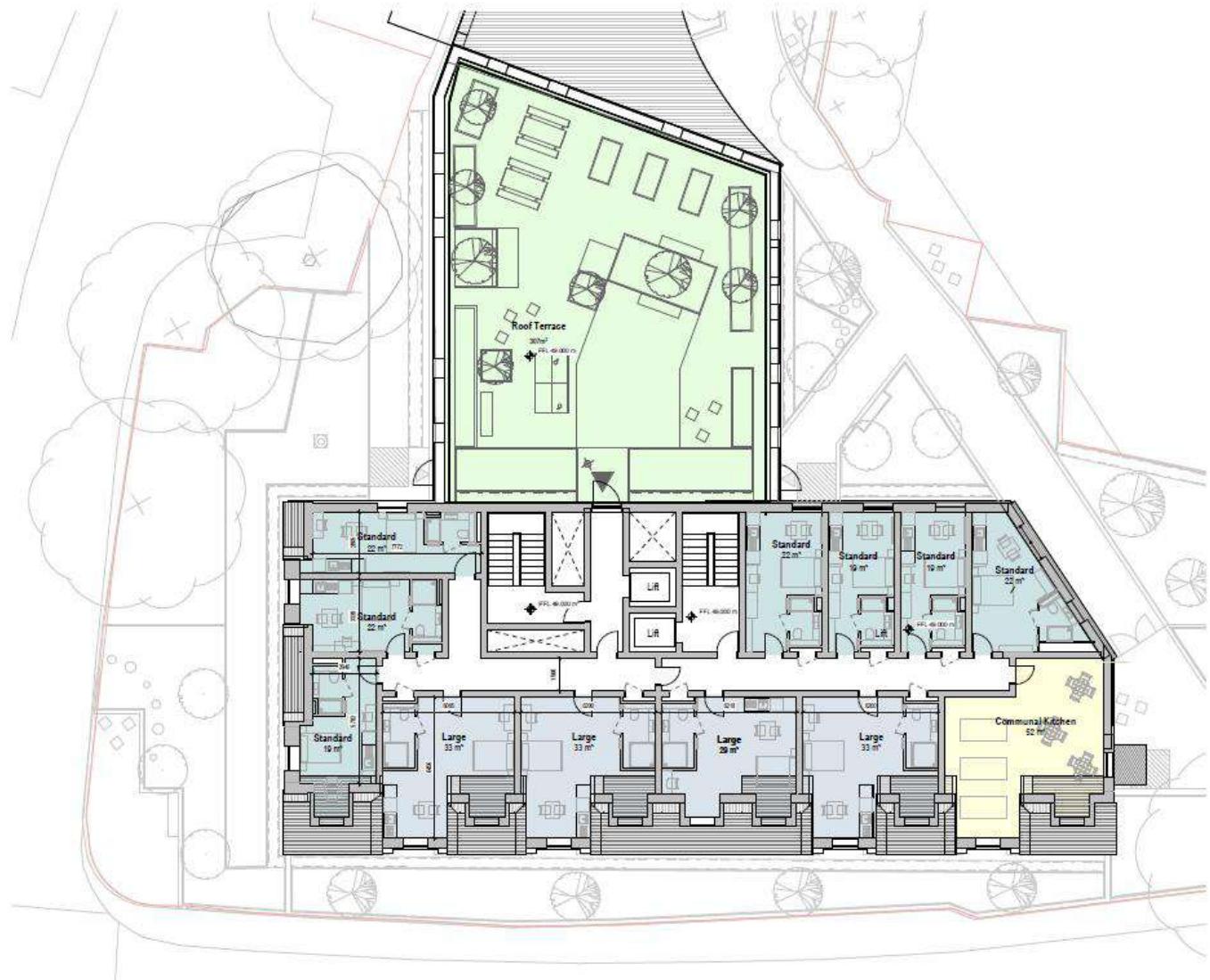
## PROPOSED BLOCK B 1<sup>st</sup> FLOOR PLAN (Ground Level)



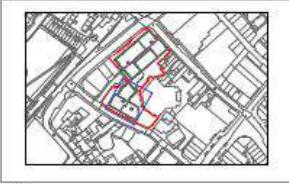




# PROPOSED BLOCK B 5th FLOOR PLAN



## KEY PLAN



## NOTES

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Key

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<input type="checkbox"/>	Large Unit	<input type="checkbox"/>	External Amenity
		<input type="checkbox"/>	Facilities
		<input type="checkbox"/>	Architectural Block

### Planning Application Site Boundary

10 Planning Kategorie	300/005	RP	TP
20 Planning Kategorie	210/105	CRM	TP
30 Planning Kategorie	180/005	RP	TP
40 Planning Kategorie	300/005	CRM	TP

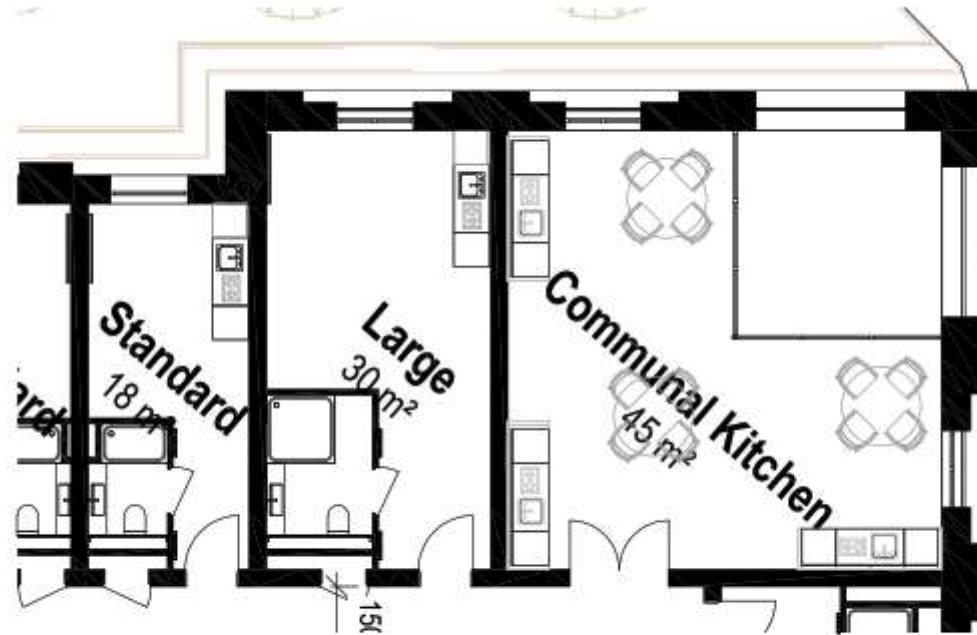
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DRAWINGS BY STANLEY

## Planning





DA  
A ■

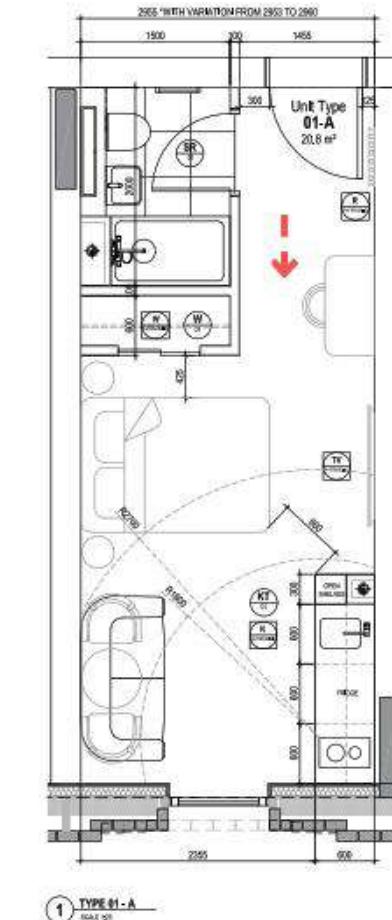
Design and Access Statement Addendum 2  
Mary Arches, Exeter

## Standard Unit

## 3.1 Typical Unit Layout

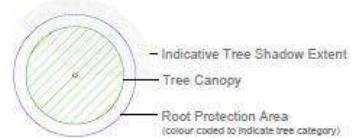
Co-living room sizes. Additional 3d view of 18 sqm co-living room layout to be provided.

Attached is a 3d view for an 18 m<sup>2</sup> co-living unit. We have used this unit types in previous projects. The key features include individual ensuites and kitchenettes, which must be positioned next to the windows to adhere to fire regulations. Residents should not need to escape within 1.8 m of cookers. Additionally, storage, seating, and desk spaces are provided.





**Key:**  
**Trees To Be Retained**



- Category B
- Category C

**Trees To Be Removed**



Scale @ A1: 1:250

Drawing should be viewed in colour.  
 Location of trees suffixed with PA (position approximate) have been estimated on site.

**Drawing Title:**  
 Tree Retention Plan

**Project:**  
 Mary Arches, Exeter

**Client:**  
 Eutopia Exeter Arches Ltd.

Date:	02/12/2025	Drawn:	MU
Drawing Number:	2784-TRP-MU	Revision:	1

# TREE RETENTION PLAN



# ILLUSTRATIVE LANDSCAPE PLAN



# ILLUSTRATIVE LANDSCAPE PLAN



1

Site Section - Bartholomew Street East

Scale 1:500



2

Site Section - Mary Arches Street  
Scale 1:500

## SITE ELEVATIONS



3 Site Section - North Street  
Scale 1:500

## SITE ELEVATIONS



1 Building A NE Elevation

1000000

① Dark Brown Brick Cladding	⑦ Glazing with Grey Metal Mullions	⑬ Concrete Panel
② Dark Brown Patterned Brick Cladding	⑧ Dark Brown Soldier Course Brick Cladding	⑭ Scalloped Concrete Panel
③ Buff Soldier Course Brick Cladding	⑨ Decorative Solid Grey Metal Panel	⑮ Green Glazed Bricks
⑩ Slanting Seam Zinc Roofing	⑩ Grey Metal Ballustrade	⑯ Dark Green Rock Cladding

### ISY PLAN

ROW	NOTES	DATE	RT	SLASH
P1	Planning issue	2008/08	CRM	TP
P2	Planning Re issue	2008/08	RP	TP
P3	Planning Re issue	21/10/08	CRM	TP

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**Planning**      **SO**

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MARY ARCHES, EXETER

# BUILDING A NORTH ELEVATIONS



1 Building A SE Elevation

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NOTES:

- ① Dark Brown Brick Cladding
- ② Dark Brown Patterned Brick Cladding
- ③ Buff Soldier Course Brick Cladding
- ④ Standing Seam Zinc Roofing
- ⑤ Glazing with Grey Metal Mullions
- ⑥ Dark Brown Soldier Course Brick Cladding
- ⑦ Decorative Solid Grey Metal Panel
- ⑧ Grey Metal Balustrade
- ⑨ Concrete Panel
- ⑩ Scalloped Concrete Panel
- ⑪ Green Glazed Bricks
- ⑫ Dark Green Brick Cladding



REF	NOTES	DATE	BY	ALTA
1	Planning Application	20/06/02	DAM	TP
2	Planning the Issue	24/06/02	DAM	TP
3	Planning the Issue	21/11/02	DAM	TP

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DRAWING STATUS	ISSUED STATUS
Planning	SO

FILE:  
D3-Proposed  
Proposed East Elevation - Building A Rear

PROJECT:  
Mary Arches, Exeter



## 1 Building A SW Elevation

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Drawings, specifications and schedules are to be made in accordance with the following when applicable: RIBA's Recommended Conditions, Agreements to Let, Structural Engineers' drawings and/or Architect's drawings.

10

① Dark Brown Brick Cladding	⑦ Glazing with Grey Metal Mullions	⑬ Concrete Panel
② Dark Brown Patterned Brick Cladding	⑧ Dark Brown Soldier Course Brick Cladding	⑭ Scalloped Concrete Pan
③ Buff Soldier Course Brick Cladding	⑨ Decorative Solid Grey Metal Panel	⑮ Green Glazed Bricks
④ Standing Seam Zinc Roofing	⑩ Grey Metal Balustrade	⑯ Dark Green Brick Cladding

### KEY PLAN

RSV	AC/CSB	DATE	MT	AG
PC	Planning Value	20/01/08	CSB	1
PC	Planning Re Issue	20/01/08	RP	1
PC	Planning Re Issue	21/01/08	CSB	1
PC	Planning Re Issue	06/01/08	RP	1

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911 144 20 7650 0000

**DRIVING STATUS**      **NON-DRIVING STATUS**

## Planning S0

文庫

### D3-Proposed

Proposed South Elevation - Building A Side

---

PROJEKT

### Mary Arches, Exeter

www.ijerpi.org, ISSN:

# BUILDING A SOUTH ELEVATIONS



# BUILDING A WEST ELEVATIONS



NOTE

① Dark Brown Brick Cladding	⑦ Glazing with Grey Metal Mullions	⑬ Concrete Panel
② Dark Brown Patterned Brick Cladding	⑧ Dark Brown Soldier Course Brick Cladding	⑭ Scalloped Concrete Panel
③ Buff Soldier Course Brick Cladding	⑨ Decorative Solid Grey Metal Panel	⑮ Green Glazed Bricks
④ Standing Seam Zinc Roofing	⑩ Grey Metal Balustrade	⑯ Zinc Cladding

#### KEY PLAN

ROW	NOTE#	CATE	BY	AUTH	DRAWING STATUS	ISO SHEET STATUS
P1	Planning issue	000020	CHM	TP	Planning	SO
P2	Planning Re-issue	000020	TP	TP		
P3	Planning Re-issue	001102	CHM	TP		

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**DRAWING STATUS** **ISSUE SHEET STATUS**

03-Proposed  
Proposed North Elevation - Building B Rear

# BUILDING B NORTH ELEVATIONS



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Drawings, specifications and schedules are to be read in conjunction with the Building Regulations, Structural Engineering drawings and any other relevant documents, Agreements to Lease, Structural Engineering drawings and any other relevant documents.

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DRAWING STATUS: **Planning** P0  
 DRAWING NUMBER: **SO**  
 DATE: 06/07/09 BY: ALTH  
 1: Planning issued 06/07/09 BY: ALTH  
 2: Planning revised 06/07/09 BY: ALTH  
 3: Planning the issue 06/07/09 BY: ALTH  
 HISTORY:  
 03-Proposed  
 Proposed East Elevation - Building B Side  
 PROJECT:  
 Mary Arches, Exeter

# BUILDING B EAST ELEVATIONS



# BUILDING B SOUTH ELEVATION



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Drawings, specifications and schedules are to be read in conjunction with the Building Regulations, where applicable. Drawings, specifications and schedules are to be read in conjunction with the Building Regulations, where applicable.

## NOTES

- ① Dark Brown Brick Cladding
- ② Dark Brown Patterned Brick Cladding
- ③ Buff Soldier Course Brick Cladding
- ④ Standing Seam Zinc Roofing
- ⑤ Glazing with Grey Metal Mullions
- ⑥ Dark Brown Soldier Course Brick Cladding
- ⑦ Decorative Solid Grey Metal Panel
- ⑧ Grey Metal Balustrade
- ⑨ Concrete Panel
- ⑩ Scalloped Concrete Panel
- ⑪ Green Glazed Bricks
- ⑫ Dark Green Brick Cladding



REF	NOTES	DATE	BY	AUTH
1.1	Planning issued	20/08/08	CAM	TP
1.2	Planning refused	21/11/08	CAM	TP
1.3	Planning re issued	06/12/08	HR	TP

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DRAWING STATUS  
**Planning** **SO**

PLAN  
D3-Proposed  
Proposed West Elevation - Building B Side

PROJECT  
Mary Arches, Exeter



1 Site Section A-A  
Scale 1:200

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# SECTION A-A



1 Site Section B-B  
Scale 1:200

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# SECTION B-B



1 Site Section C-C  
Scale 1:200

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# SECTION C-C



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Drawings, specifications and schedules are to be read in conjunction with the following, where applicable:

Drawings, Specification Documents, Agreements to Lease, Building Engineers' Notes and

Architectural Notes.

NOTES:



REV	NOTES	DATE	BY	AUTH
X1	Planning issue	06/06/20	DM	CP
X2	Planning the issue	21/07/20	DM	CP
X3	Planning the issue	06/08/20	DM	CP

DRAWING STATUS	ISSUE STATUS
Planning	50
TRUE	
D3-Proposed	



1 Site Section E-E  
Scale 1:200

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# SECTIONS



**LONG RANGE VIEW**



**LONG RANGE VIEW**



**VERIFIED VIEW**



**VERIFIED VIEW**



VERIFIED VIEW



**NON-VERIFIED CGI VIEW**



**NON-VERIFIED CGI VIEW**

The key planning issues are:

1. Principle of development – loss of car parking and retail and development of Co-Living accommodation.
2. Impact on heritage assets
3. Scale, design, appearance, density
4. Impacts on the amenity of neighbouring occupiers
5. Amenity of future occupiers
6. Impact on landscape and biodiversity
7. Travel, access and parking
8. Sustainable Construction and Energy Conservation
9. Flood Risk and Surface Water Management
10. Pollution
11. Affordable Housing
12. Mixed Communities
13. Housing supply
14. Economic benefits
15. Community Infrastructure Levy
16. Planning Obligations

## Benefits

- The provision of 297 Co-living dwelling units of which 60 Affordable Private Rent Units of which 3 are Wheelchair units on a highly sustainable site is given significant weight in decision making.
- The redevelopment of an underdeveloped site and the removal of buildings that make a negative contribution to the setting of Listed Buildings and the Character and Appearance of the Central Conservation Area centre, and the enhanced public engagement with the Archaeological Investigation of the site, is given positive weight in decision making.
- The car free development of the site that will reduce traffic movement in the city centre is given moderate positive weight given the modest reductions in traffic and impact on overall air quality.
- Contributions from the development to offset the impact of the development on services and public spaces are given limited positive weight.

## Harms

- The harm to the setting of Listed Buildings and the Character and Appearance of the Central Conservation Area at the upper end of less than substantial harm is given significant weight in decision making given the special regard that is required to be had to the assets and that the harm would be long lasting.
- The loss of trees and reduction in on site biodiversity, which will need to be compensated off site, is given significant weight in decision making
- The loss of renewable energy generating capacity is given moderate weight in decision making.

The Council is not currently able to demonstrate a 5-year housing land supply (supply at 01 April 2025 was 4 years 3.2 months). As a consequence, the presumption in favour of sustainable development as set out in Paragraph 11 of the NPPF is to be applied.

The Supreme Court judgement confirmed that for the purposes of applying a tilt in favour of sustainable development, known as the 'tilted balance' (NPPF Para. 11(d)), policies of the development plan will remain applicable, but it will be for the local planning authority to determine the balance of policies for the protection of environment and amenity against the need for housing and the economy.

The tilted balance is therefore to be borne in mind when balancing the planning issues that have been outlined in the committee report.

In light of the officer assessment set out in the 'Planning Balance' section of the report, and taking into consideration the guidance in paragraph 11 of the NPPF, it is considered that the benefits of the development proposed, in terms of provision of residential development to meet demonstrated housing need, outweigh the heritage harm and all other harms and that the design of the building, whilst not achieving all the desirable design objectives, is acceptable given the impact of the current site on the Conservation Area and Setting of Listed and Locally Listed buildings.

## CONCLUSION

A. DELEGATE TO HEAD OF CITY DEVELOPMENT TO **GRANT PERMISSION** SUBJECT TO THE COMPLETION OF A LEGAL AGREEMENT UNDER SECTION 106 OF THE TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TO SECURE THE FOLLOWING:

- 20% of Co-living Units (60 units) as 'Affordable Private Rent', including 3 wheelchair M4(3) units.
- Highways Contributions totalling £139,050 and £10,000 for Traffic Orders.
- Car Club Contributions £146,434.62 for vehicle provision, and associated £7,269 TROs and £7,269 Road Markings
- Provision of permissive path, including public access and ongoing maintenance
- Co-living Management Plan, including measures to discourage car ownership and use
- Primary Health Care contribution £87,184 towards expansion of GPs surgery provision
- Contribution of £457 per bedspace towards the provision and improvement of off-site public open spaces serving the development.
- Contribution of £ 278 (per bedspace towards the provision or improvement of off-site playing fields city-wide.
- Habitat Regulations mitigation - Exe Estuary (Affordable units only) - £1278.71
- 24/7 onsite management presence
- A financial contribution £93,000 to support public engagement of archaeological investigation and its findings
- Restrictions on Full Time Student Occupation of 10%
- S106 and Bio-diversity Net Gain Monitoring Fees

And the conditions listed in this report and in the update sheet, the wording of which may be varied.

**B. REFUSE PERMISSION IF THE LEGAL AGREEMENT UNDER SECTION 106 OF THE TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) IS NOT COMPLETED WITHIN 6 MONTHS OF THE DATE OF COMMITTEE, OR SUCH EXTENDED TIME AS AGREED IN WRITING BY THE SERVICE LEAD (CITY DEVELOPMENT).**

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# Exeter City Council

## Planning Committee

### 19 January 2026

# **Applications 25/0895/FUL and 25/0896/LBC**

**Site: Site of Royal Clarence Hotel, Cathedral Yard**

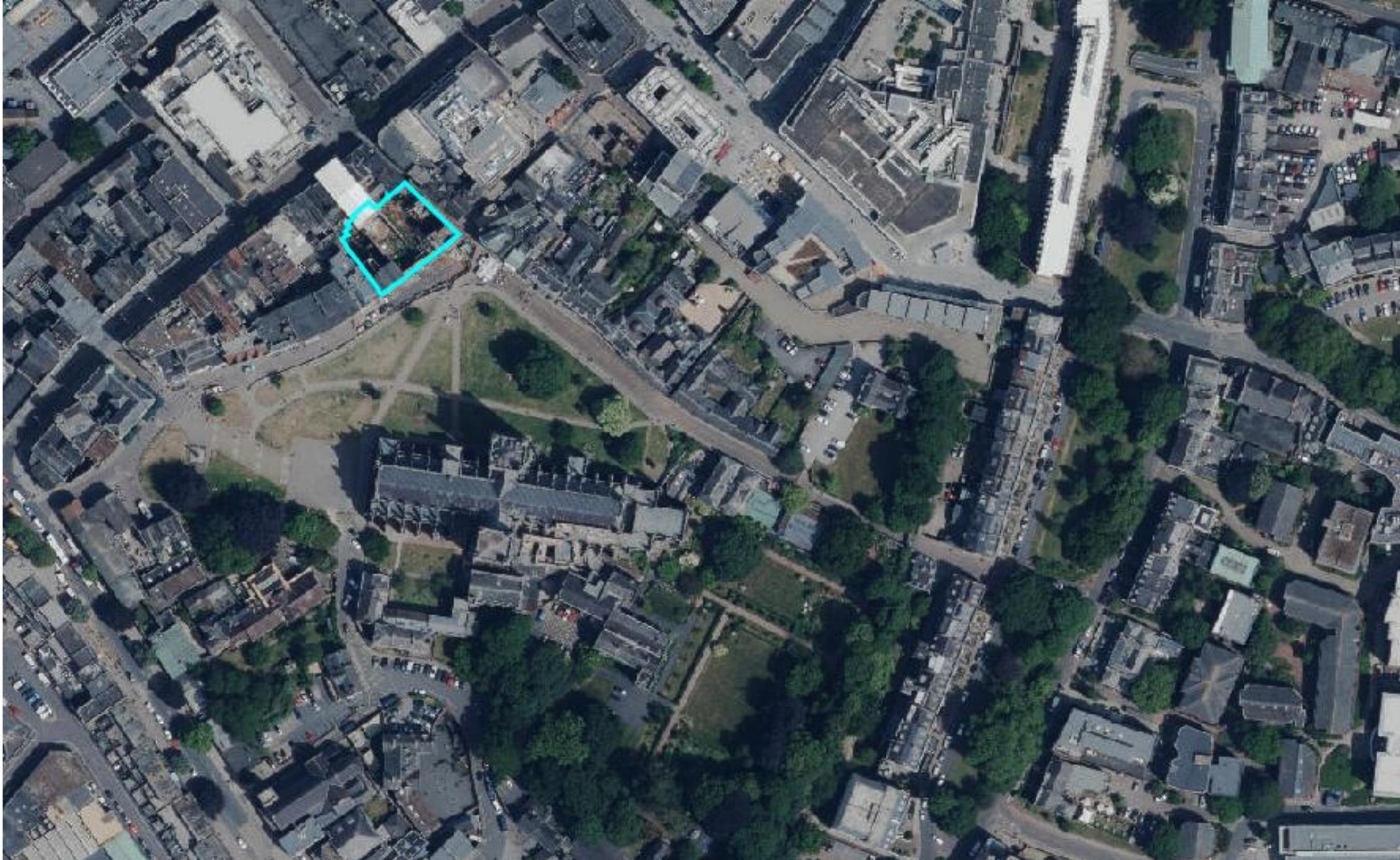
**Page 92**  
**Applicant: Nooko Developments Ltd**

**Proposal: Redevelopment of the Royal Clarence, to include 25 new residential dwellings on the upper floors with part residential on the ground and part basement floor. Commercial on the remaining ground and basement floor as a public house and restaurant.**

**Case Officer: Christopher Cummings**



# SITE LOCATION PLAN



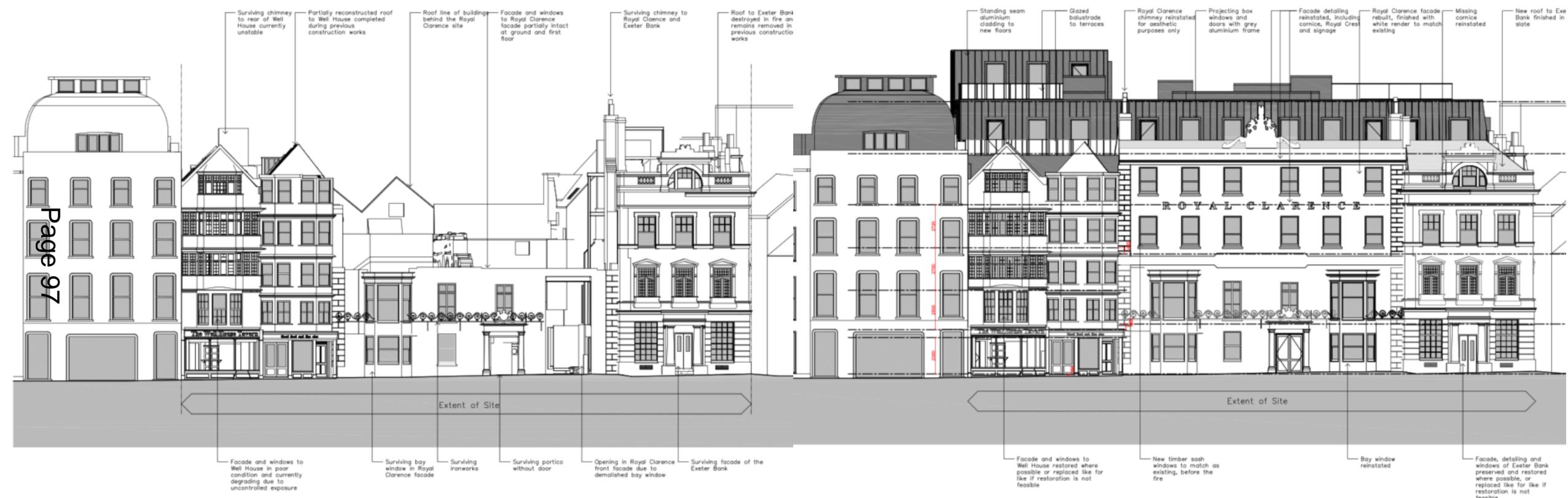
AERIAL VIEW



EXISTING SITE PHOTO



## THE WELL HOUSE



## EXISTING AND PROPOSED FRONT ELEVATIONS

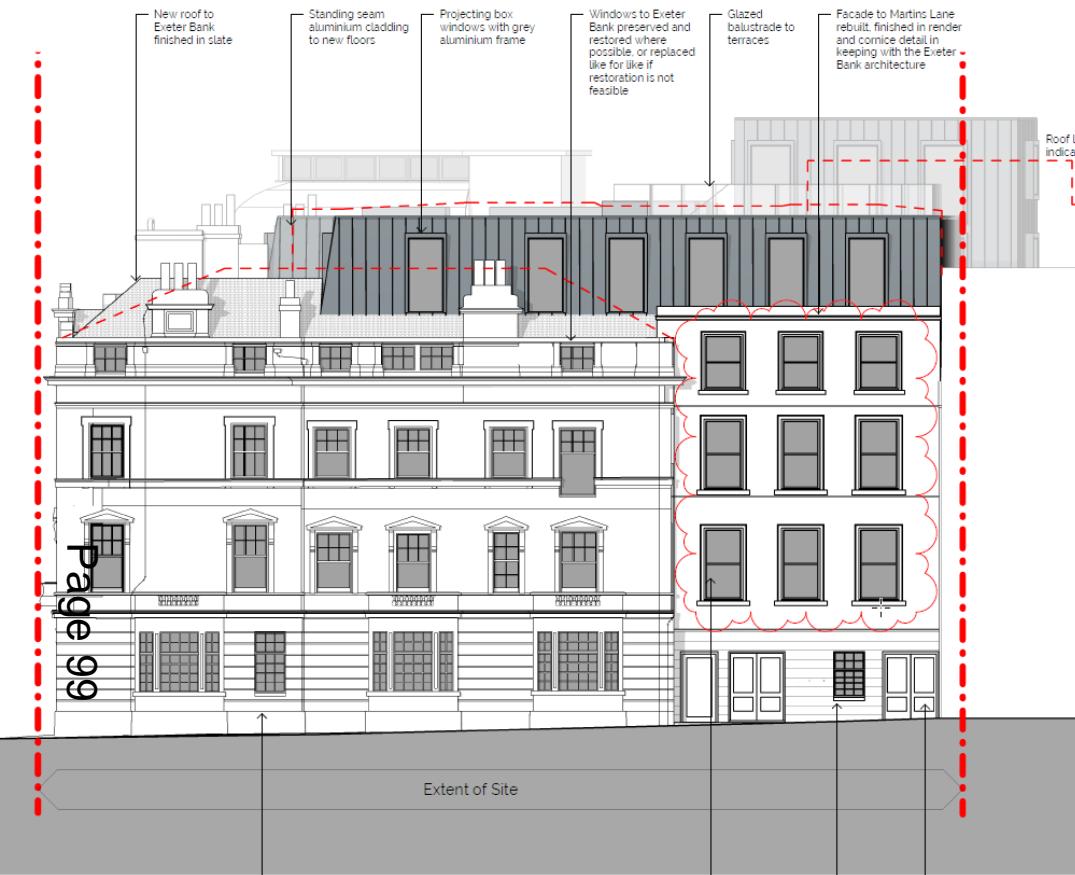


APPROVED 22/0236/FUL



PROPOSED

PREVIOUS APPROVAL AND PROPOSED (CATHEDRAL GREEN)



APPROVED 22/0236/FUL

PROPOSED

PREVIOUS APPROVAL AND PROPOSED (MARTINS LANE)



## PROPOSED FIRST FLOOR



PROPOSED VISUAL

- Ground floor public house and restaurant with 25 dwellings on upper floors.
- Building height varying from 5 to 6 storeys
- Upper floors of Well House to be demolished (more modern aspects) with lower levels retained.

- Acceptable use of commercial and residential
- Accepted viability position and clawback mechanism will be secured.
- Less than significant harm to the listed building through careful retention and bringing vacant site back into use.

**DELEGATE TO THE HEAD OF CITY DEVELOPMENT TO GRANT PERMISSION  
SUBJECT TO THE COMPLETION OF A LEGAL AGREEMENT UNDER SECTION 106  
OF THE TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TO SECURE  
THE FOLLOWING:**

- £1,284.72 per dwelling for recreational impacts on the Exe Estuary protected marine site.

Subject to a Deferred Contributions Mechanism

- 35% Affordable Housing to be paid as a financial contribution of £2,394,258.82.
- £16,083 for expansion of oversubscribed GP surgeries at Barnfield Hill, Southernhay House, St Leonards Practice and St Thomas Health Centre.

And the conditions set out in the application report/supplementary information sheet

**DELEGATE TO THE HEAD OF CITY DEVELOPMENT TO GRANT PERMISSION  
SUBJECT TO THE COMPLETION OF A LEGAL AGREEMENT UNDER SECTION 106  
OF THE TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TO SECURE  
THE FOLLOWING:**

- £1,284.72 per dwelling for recreational impacts on the Exe Estuary protected marine site.

Subject to a Deferred Contributions Mechanism

- 35% Affordable Housing to be paid as a financial contribution of £2,394,258.82.
- £16,083 for expansion of oversubscribed GP surgeries at Barnfield Hill, Southernhay House, St Leonards Practice and St Thomas Health Centre.

And the conditions set out in the application report/supplementary information sheet

**25/0896/LBC**

**DELEGATE TO HEAD OF CITY DEVELOPMENT TO GRANT LISTED BUILDING  
CONSENT SUBJECT TO THE CONDITIONS SET OUT IN THE OFFICER  
REPORT/SUPPLEMNTARY INFORMATION SHEET**



## EXISTING BASEMENT



## EXISTING GROUND FLOOR



## EXISTING FIRST FLOOR



## EXISTING FIRST FLOOR MEZZANINE



## EXISTING SECOND FLOOR



## EXISTING THIRD FLOOR



## PROPOSED BASEMENT



## PROPOSED GROUND FLOOR



## PROPOSED FIRST FLOOR



PROPOSED FIRST FLOOR MEZZANINE



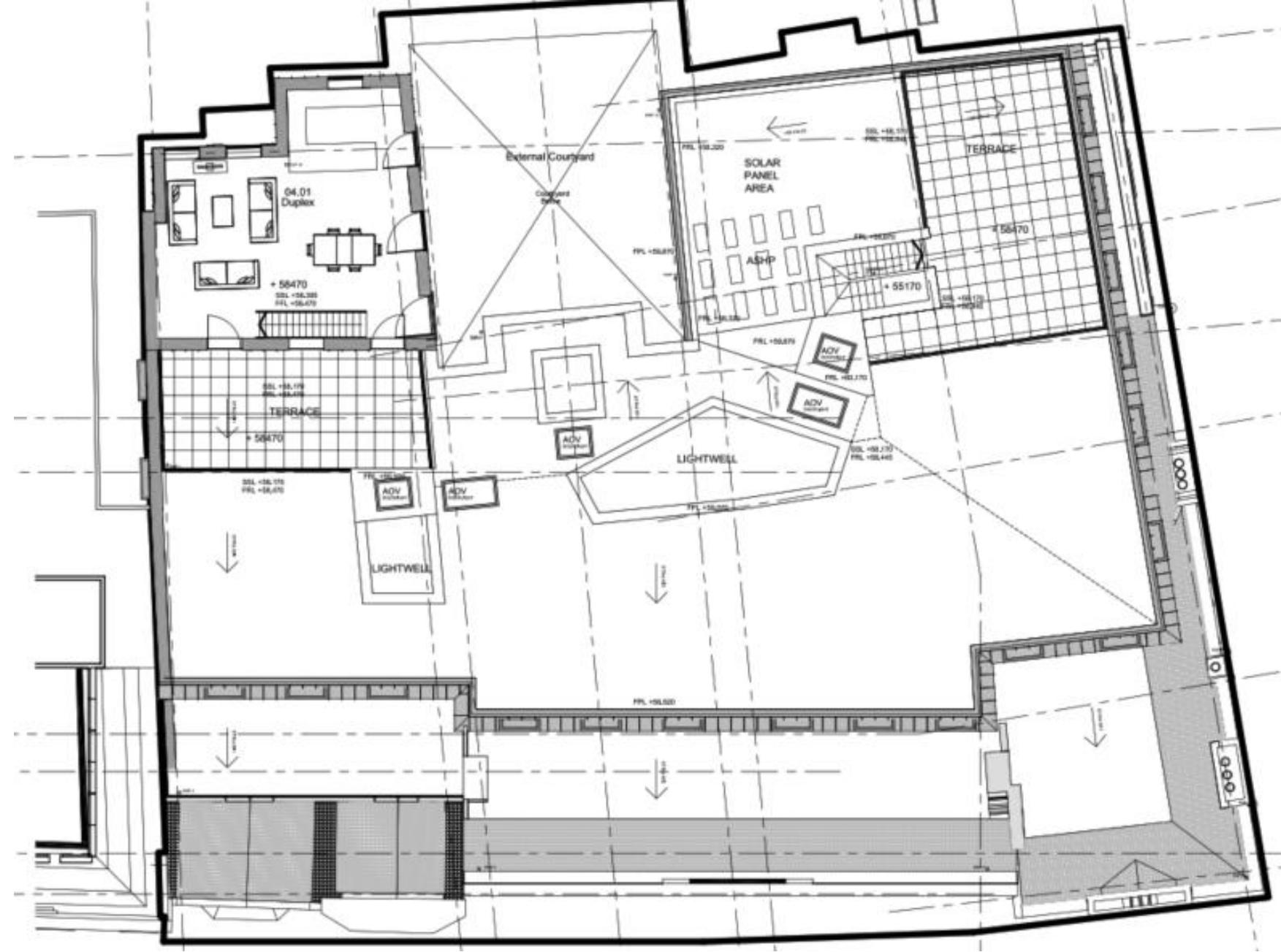
## PROPOSED SECOND FLOOR



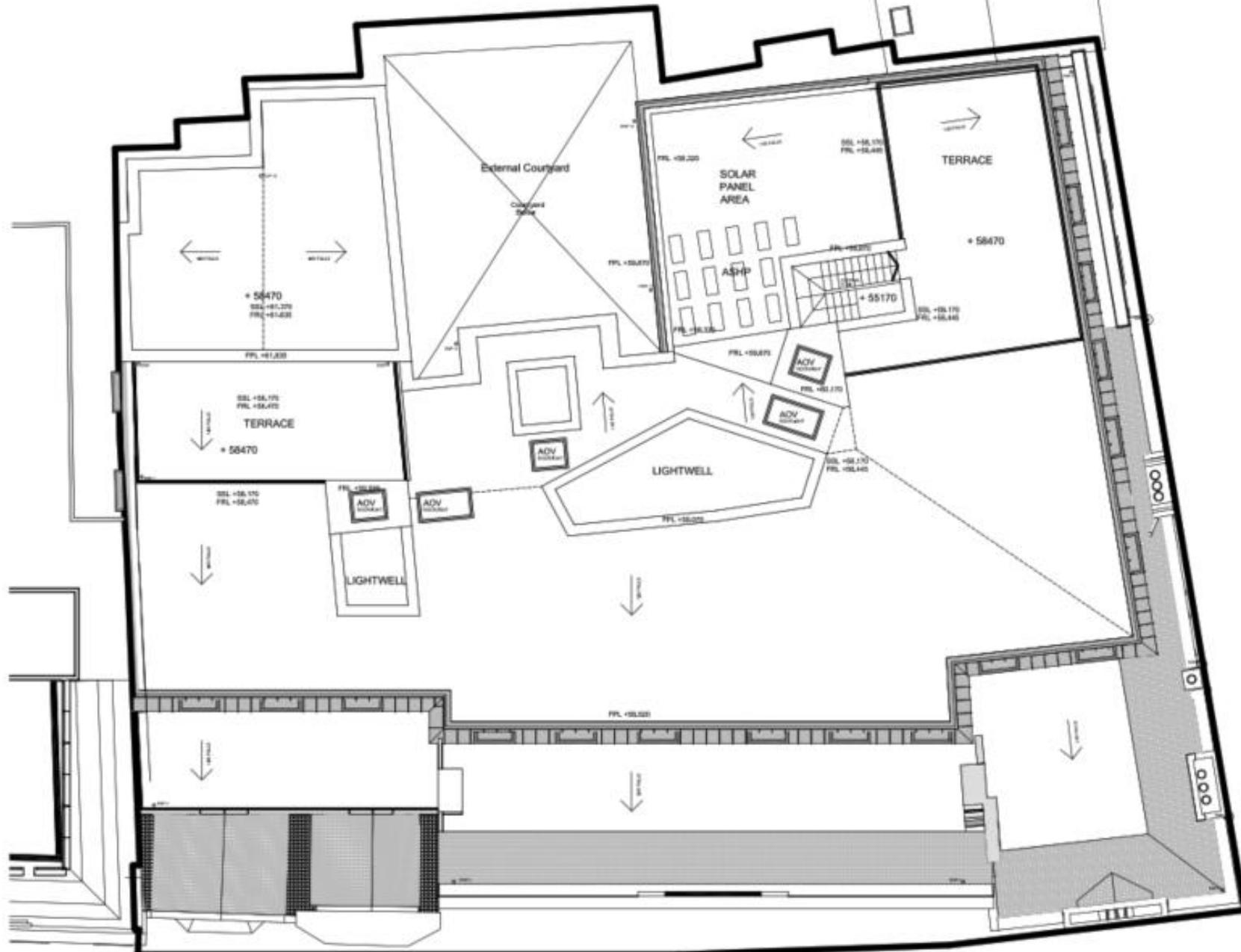
# PROPOSED THIRD FLOOR



## EXISTING FOURTH FLOOR



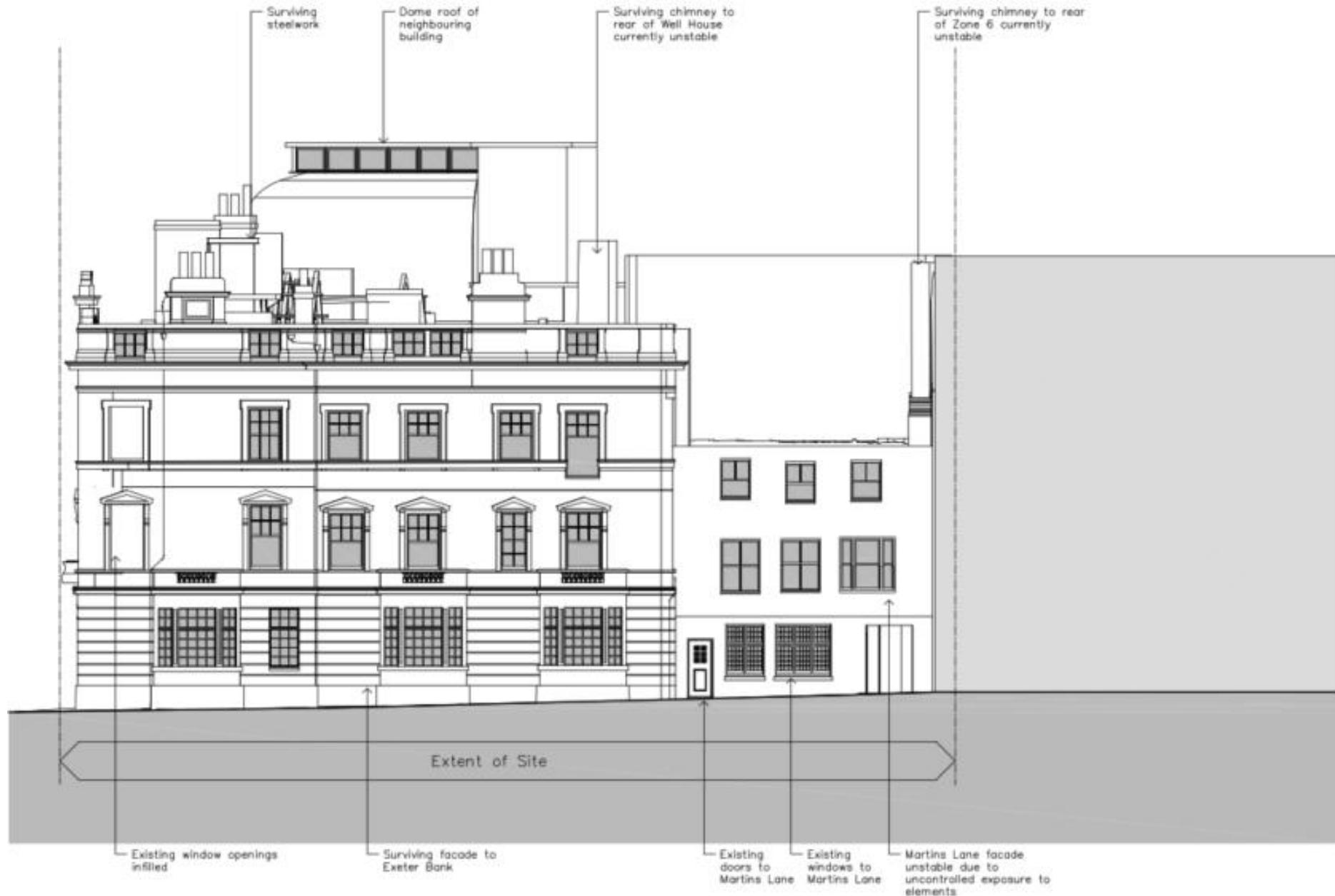
# EXISTING FIFTH FLOOR



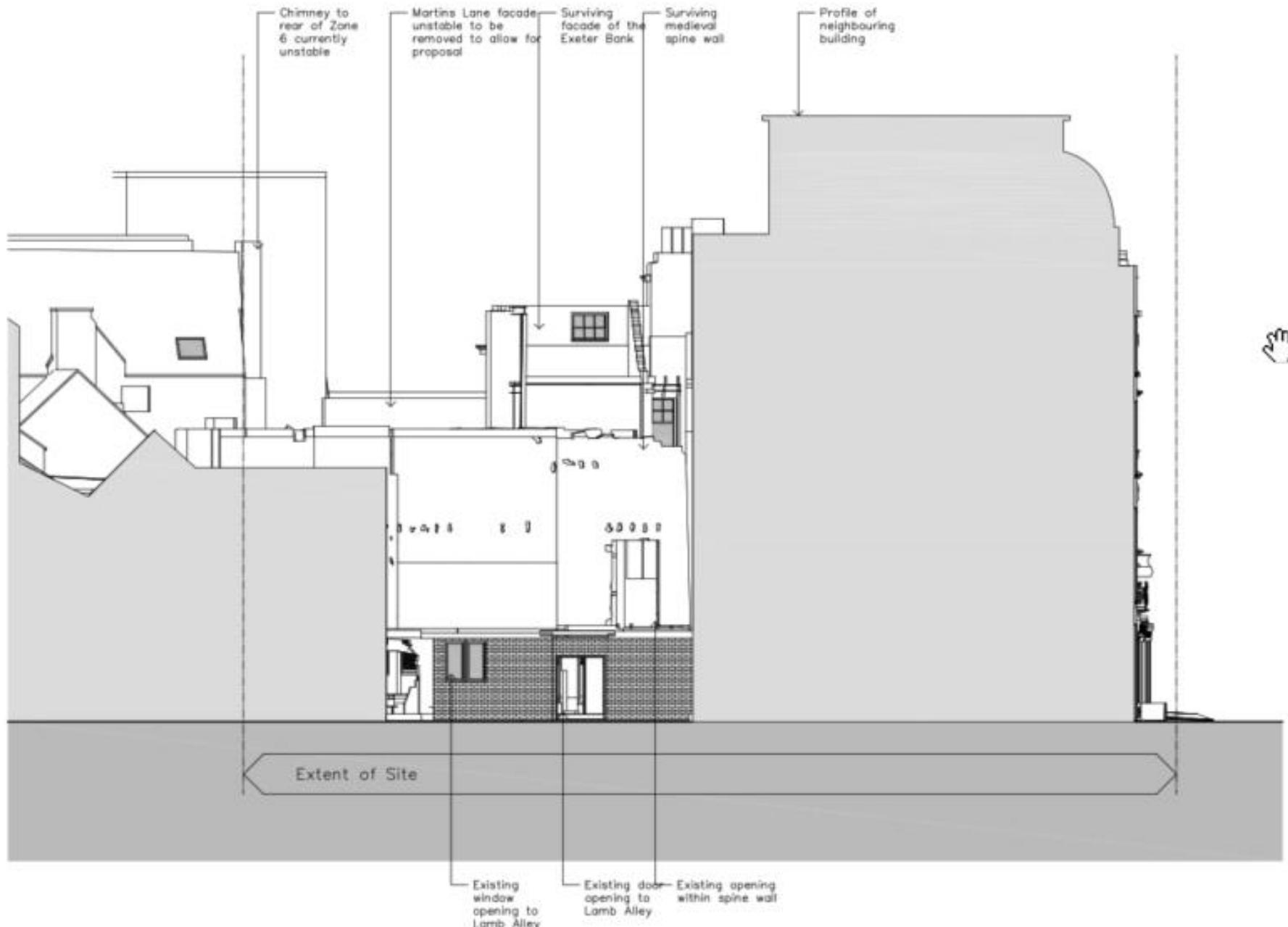
## PROPOSED ROOF PLAN



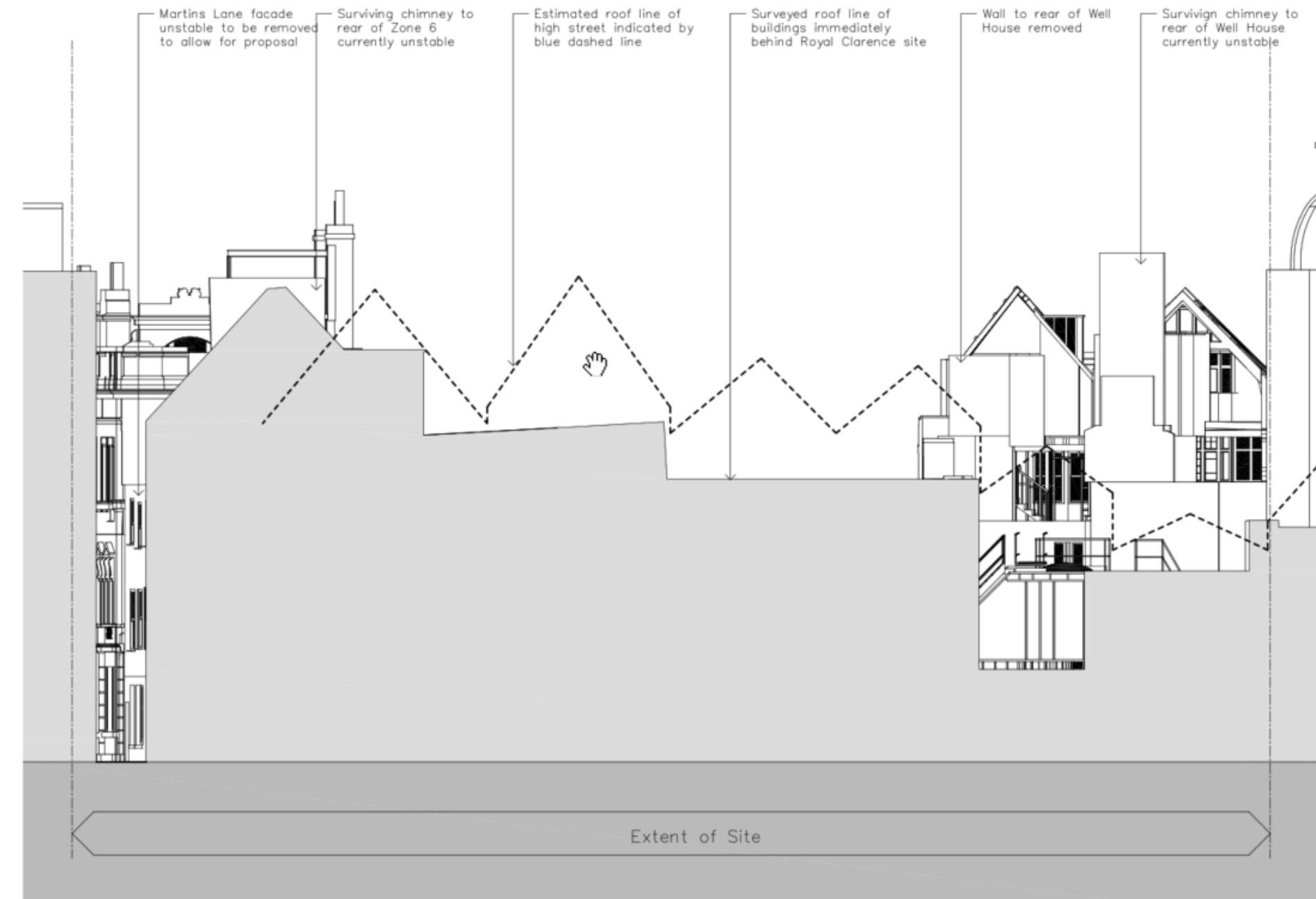
## EXISTING SOUTH ELEVATION (CATHEDRAL YARD)



## EXISTING NORTH EAST ELEVATION (MARTINS LANE)



## EXISTING SOUTH WEST ELEVATION (LAMB ALLEY)



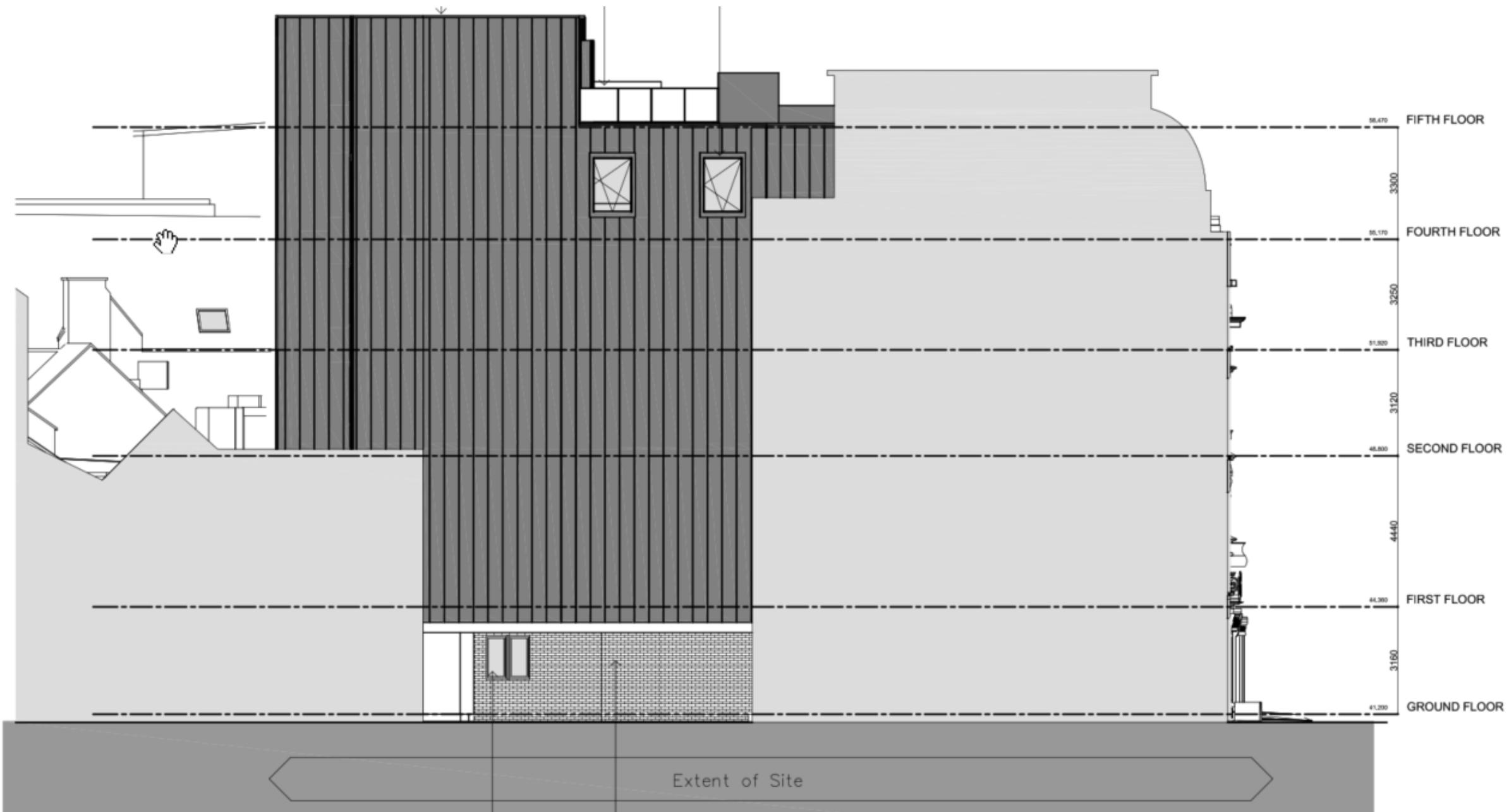
## EXISTING NORTHE WEST ELEVATION (REAR)



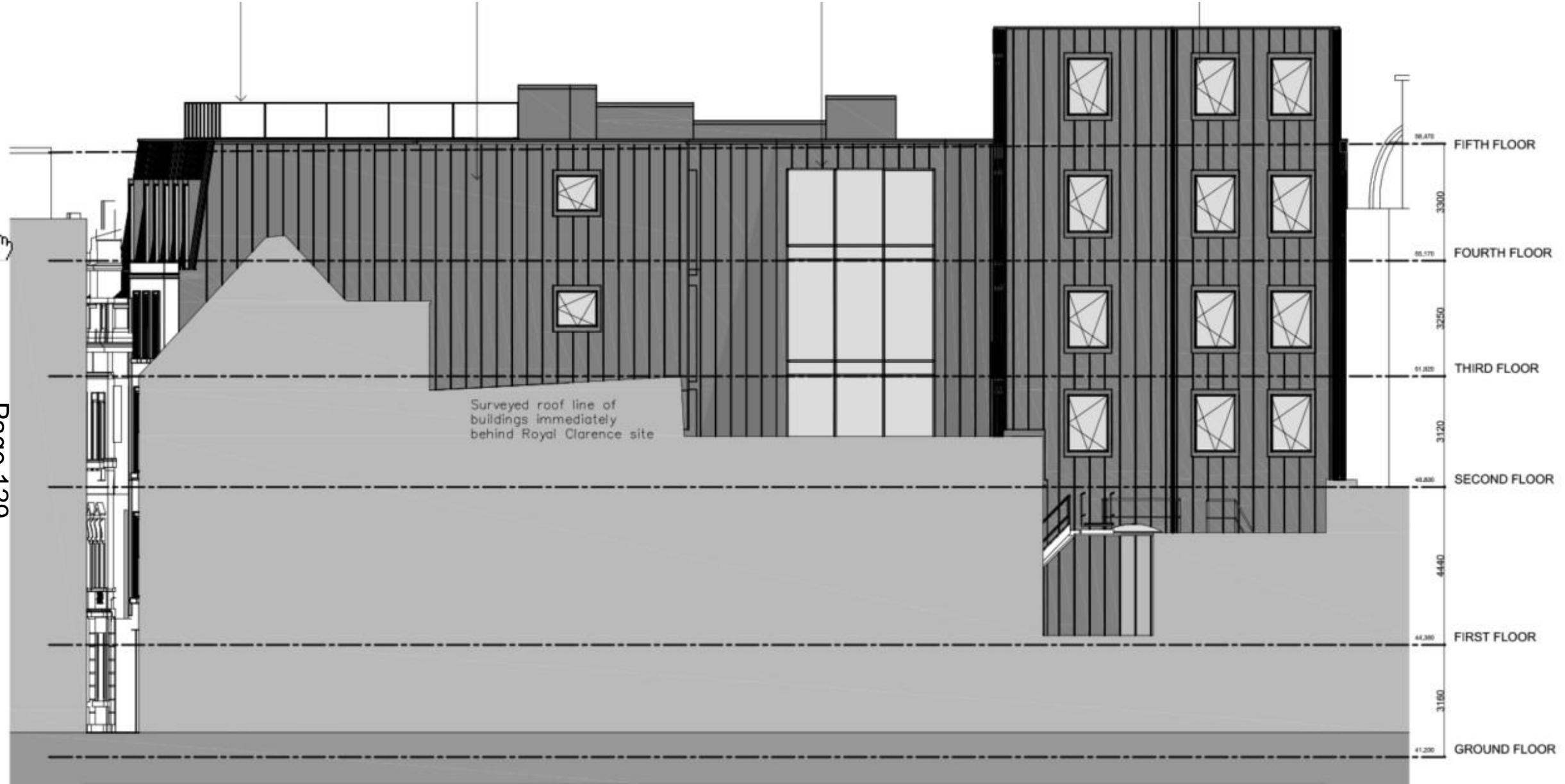
## PROPOSED SOUTH EAST ELEVATION (CATHEDRAL YARD)



PROPOSED NORTH EAST ELEVATION (MARTINS LANE)



PROPOSED SOUTH WEST ELEVATION (LAMB ALLEY)



PROPOSED NORTH WEST ELEVATION (REAR)

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