

## PLANNING

Date: Monday 19 January 2026

Time: 5.30 pm

Venue: Rennes Room, Civic Centre, Paris Street, Exeter

Members are invited to attend the above meeting to consider the items of business.

If you have an enquiry regarding any items on this agenda, please contact Mark Devin, Democratic Services Officer - [democratic.services@exeter.gov.uk](mailto:democratic.services@exeter.gov.uk).

Entry to the Civic Centre can be gained through the Customer Service Centre, Paris Street.

### *Membership -*

Councillors Knott (Chair), Rolstone (Deputy Chair), Asvachin, Atkinson, Banyard, Hughes, Hussain, Ketchin, Mitchell, M, Pole, Williams, M and Bennett

## PRESENTATIONS

### **Part I: Items suggested for discussion with the press and public present**

#### **5 Planning Application No. 25/0781/FUL - Mary Arches Street Car Park**

To consider the report of the Strategic Director for Place.

(Pages 3 -  
90)

#### **6 Planning Application No. 25/0895/FUL & 25/0896/LBC - Site of Royal Clarence Hotel**

To consider the report of the Strategic Director for Place.

(Pages 91  
- 130)

### **Date of Next Meeting**

The next scheduled meeting of the Planning Committee will be held on **Monday 9 February 2026** at 5.30 pm in the Civic Centre.

Find out more about Exeter City Council services by looking at our web site <http://www.exeter.gov.uk>. This will give you the dates of all future Committee meetings and tell you how you can ask a question at a Scrutiny Committee meeting. Alternatively, contact the Democratic Services Officer (Committees) on (01392) 265107 for further information.

**Individual reports on this agenda can be produced in large print on request to Democratic Services (Committees) on 01392 265107.**

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# Exeter City Council Planning Committee 19 January 2026



Exeter  
City Council

# **Application 25/0781/FUL**

**Site: Mary Arches Street Car Park**

**Applicant: Eutopia Exeter Arches Ltd**

**Proposal: Demolition of multi-storey car park and construction of a co-living development alongside public realm improvements, landscaping, cycle and car parking, servicing, refuse and recycling provision, and associated works**

**Case Officer: Howard Smith**





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## Planning

50

1. 2010年10月1日起，凡在中华人民共和国境内销售货物或者提供加工、修理修配劳务以及进口货物的单位和个人，均应按照《中华人民共和国增值税暂行条例》及实施细则缴纳增值税。

OLEFINS

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510 LUGAZZI ET AL.

Mary Arthur Easter









**AERIAL VIEW**



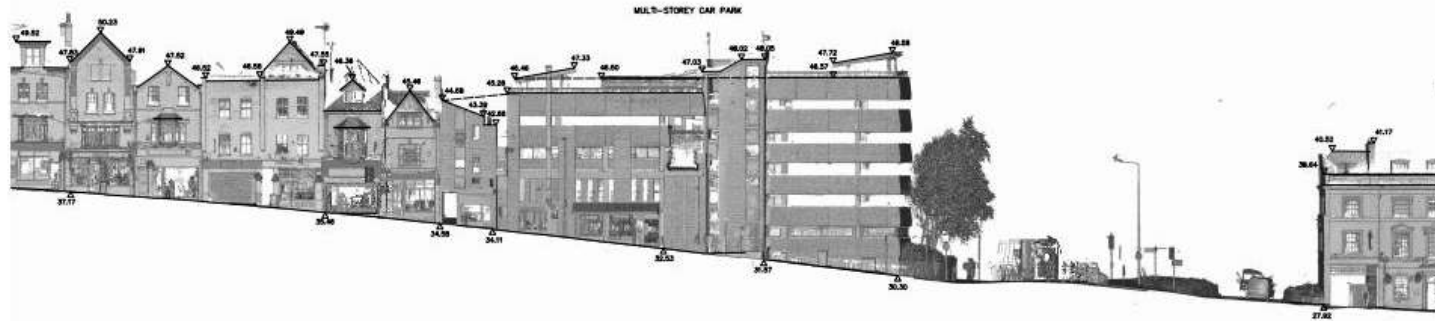






## Listed, Locally Listed Buildings & SAM

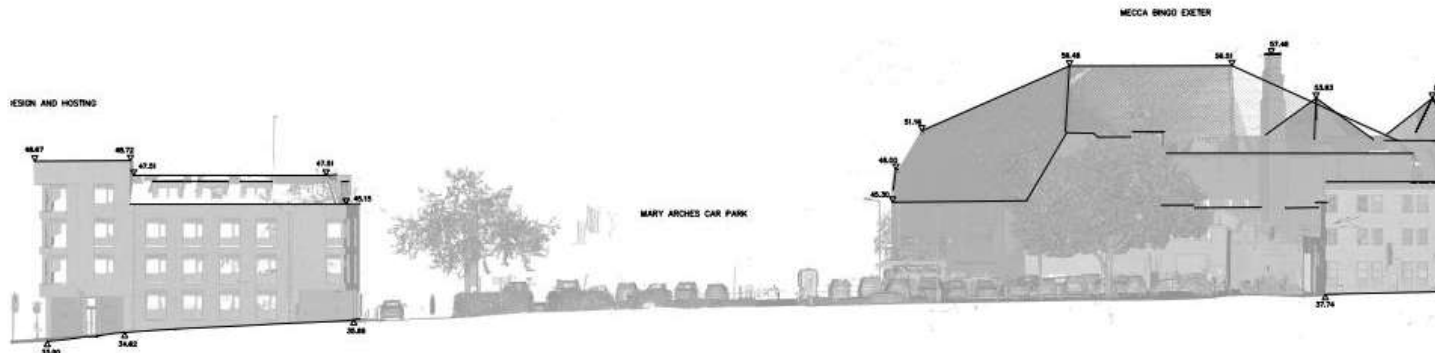




**1 Existing North Street Elevation**  
SCALE: 1"=8'



**2 Existing Bartholomew Street Elevation**  
SHEET 1208



**DOI:** 10.1002/for

[illegible]

Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Employer's Requirements documents, Agreements to Lease, Structural Engineer's drawings and specifications, **111** Engineer's drawings and specifications, Railway Drawings, Party Wall, Boundary Awards, Other special design considerations/regulations as specified by the Joint Contractor, Other special design specifications/regulations as specified by the Main Contractor, **P** Preliminary **C** Contract.

1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26

49. **Partridge**

2000S CDH 19

1992

TWENTY

13472 85 AG/PH

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299-300 G STATION

## Planning

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01-Existing  
Site Elevations

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Mary Arches, Exeter

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## EXISTING ELEVATIONS











PHOTOS





PHOTOS





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## PHOTOS





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PHOTOS





PHOTOS





PHOTOS





PHOTOS









PHOTOS





PHOTOS





















PHOTOS







- Demolition of a six-deck multi-storey car park, with solar panel canopies on the upper open deck, and redevelopment of surface car park.
- Construction of Co-Living development in two blocks linked internally at ground level.
- Provision of 297 Co-Living Residential Units
- Provision of communal accommodation for both blocks including lounges, gym and studio, co-working, laundry, bin stores and cycle parking.
- Provision of A sunken courtyard garden, and rooftop (4<sup>th</sup> Floor) terrace on each block provide open amenity.







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GENERAL NOTES

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Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Employer's Requirements Document, Agreements to Lease, Structural Engineer's drawings and specifications, Civil Engineer's drawings and specifications, Survey Drawings, Party Wall Boundary Awards. Other specialist design consultant's requirements as appointed by the Main Contractor. Other specialist design sub-contractor's requirements as appointed by the Main Contractor.  
P= Preliminary C= Contractual



## NOTES

**Key**

- |   |   |
|---|---|
|  Standard Unit |  Internal Amenity  |
|  Large Unit    |  External Amenity  |
|   |  Facilities        |
|   |  Ancillary & Plant |

 Planning Application Site Boundary

PL	Planning Release	06/11/08	RP	TP
PD	Planning Release	21/11/08	CRM	TP
PQ	Planning Release	18/06/09	RP	TP
PI	Planning Issue	09/06/09	CRM	TP
REV	NOTES	DATE	BY	AUTH

REV	NOTES	DATE	BY	AUTH
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### DRAYING STATUS

### Planning

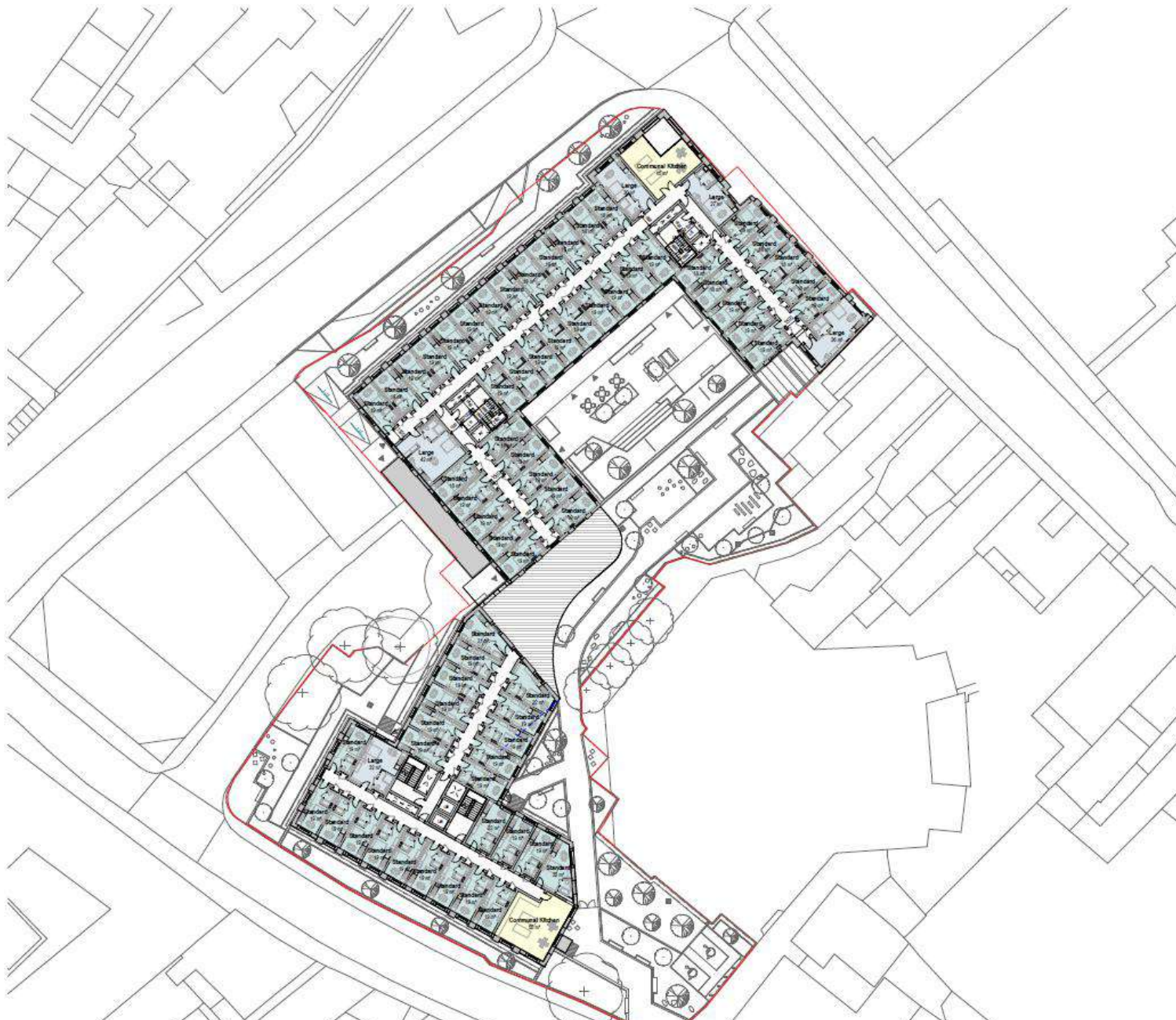
03-Proposed  
Proposed Ground Floor Plan

PROJECT  
Mary Arches, Exeter

# PROPOSED SITE PLAN – GROUND FLOOR







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Key



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10

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### Planning

TITLE:

PROJECT

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## PROPOSED SITE PLAN – 2<sup>nd</sup> FLOOR





# PROPOSED SITE PLAN – 3<sup>rd</sup> FLOOR





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P = Preliminary C = Contract

1:200

#### NOTES

##### Key

- Standard Unit
- Large Unit
- Internal Amenity
- External Amenity
- Facilities
- Ancillary & Plant

Planning Application Site Boundary

REV	NOTES	DATE	BY	AUTH
01	Planning the floor	01/10/20	SP	SP
02	Planning the floor	01/10/20	SP	SP
03	Planning the floor	01/10/20	SP	SP
04	Planning the floor	01/10/20	SP	SP

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#### DRAWING STATUS

##### Planning

TITLE

03-Proposed Proposed Fourth Floor Plan

PROJECT

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# PROPOSED SITE PLAN – 4<sup>th</sup> FLOOR





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P = Preliminary C = Construction



- NOTES**
- Key**
- Standard Unit
  - Large Unit
  - Internal Amenity
  - External Amenity
  - Facilities
  - Ancillary & Plant
- Planning Application Site Boundary

REV	Planning the Scheme	28/11/20	AK	TP
REV	Planning the Scheme	28/11/20	AK	TP
REV	Planning the Scheme	27/11/20	AK	TP
REV	Planning the Scheme	18/08/20	AK	TP
REV	Planning the Scheme	09/08/20	AK	TP

REV	NOTES	DATE	BY	AUTH
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**DRAWING STATUS**

**Planning**

**TITLE**

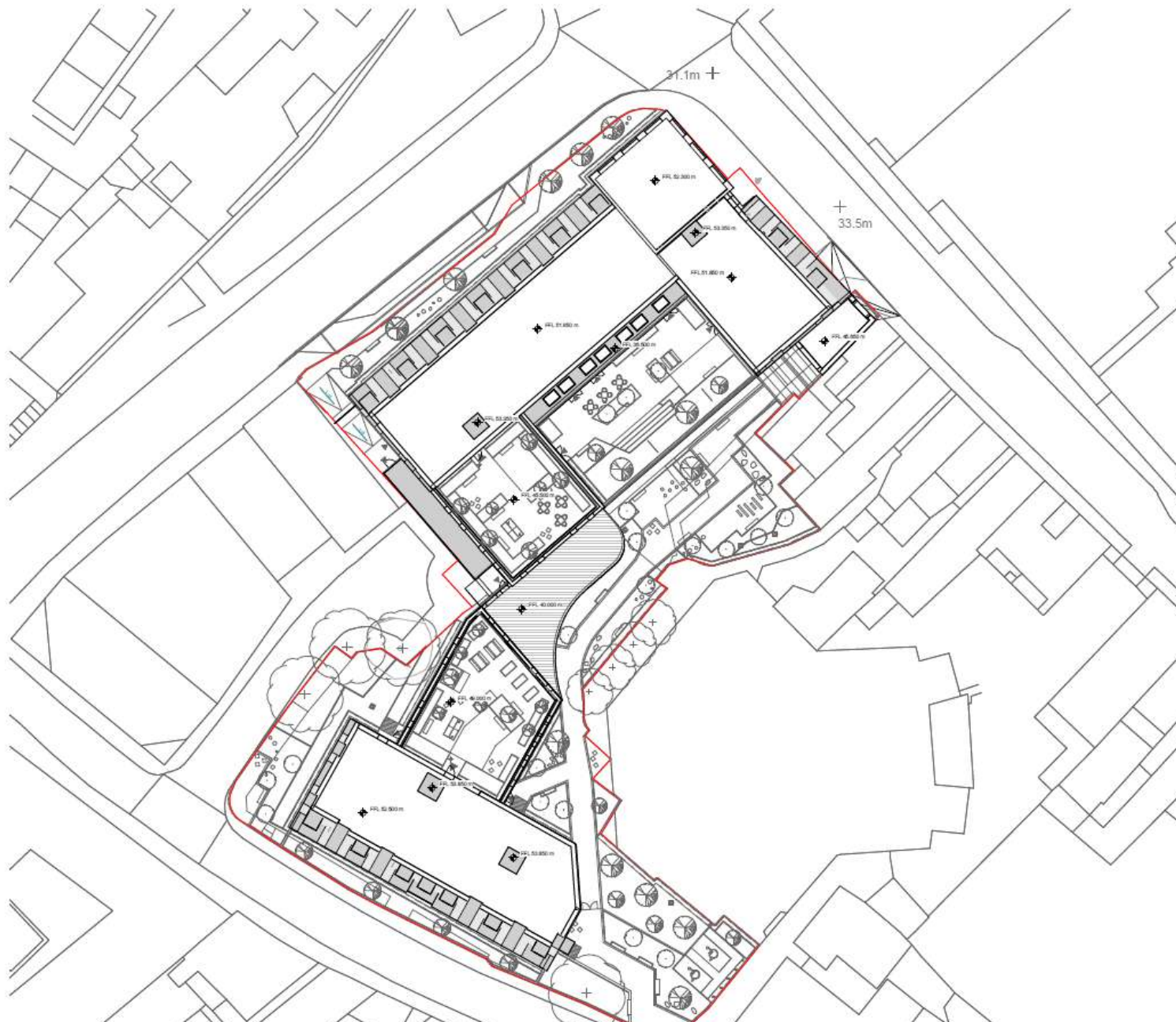
03-Proposed  
Proposed Fifth Floor Plan

**PROJECT**

Mary Arches, Exeter

# PROPOSED SITE PLAN – 5<sup>th</sup> FLOOR





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P = Preliminary; C = Contractual



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NOTES

PL Planning the lesson	06/11/09	AP	TP
PD Planning the lesson	21/11/09	CRM	TP
PC Planning the lesson	18/06/05	AP	TP
PT Planning the lesson	20/06/05	CRM	TP
REV	NOTES	DATE	BY AUTH

REV	NOTES	DATE	BY	AUTH
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DRAWING STATUS

### Planning

03-Proposed  
Proposed Roof Plan

**PROJECT**  
Mary Arches, Exeter

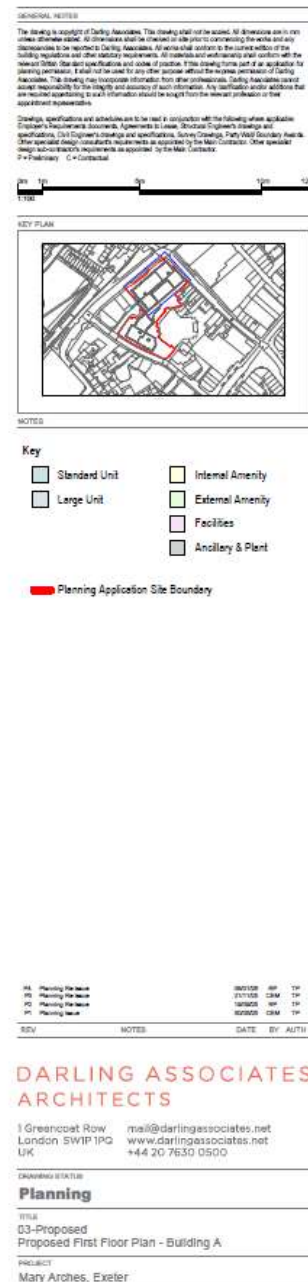
# PROPOSED ROOF SITE PLAN



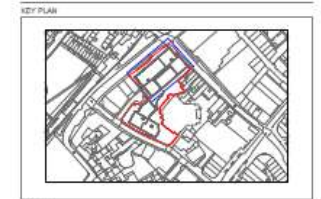
PROJECT  
Mary Arches, Exeter

# PROPOSED BLOCK A - GROUND FLOOR PLAN









**Key**

	Standard Unit		Internal Amenity
	Large Unit		External Amenity
			Facilities
			Ancillary & Plant

 Planning Application Site Boundary

PS Planning Release	08/1/00	RP	TP
PC Planning Release	10/05/00	RP	TP
PI Planning Issue	02/05/00	CRM	TP
REV	NOTES	DATE	BY AUTH

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## Planning

03-Proposed  
Proposed Second Floor Plan - Building A

PROJECT  
Mary Arches, Exeter





**Journal of Management Education**

[illegible]

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P = Preliminary C = Contractual

### KEY PLAN



NOTES

**Key**

 Standard Unit	 Internal Amenity
 Large Unit	 External Amenity
	 Facilities
	 Ancillary & Plant



Planning Application Site Boundary

PG Planning Release	06/01/02	RP	TP
PG Planning Release	10/02/02	RP	TP
PI Planning Issue	02/05/02	CRM	TP
REV	NOTES	DATE	BY AUTH

REV	NOTES	DATE	BY	AUTH
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ENDORSEMENT STATEMENT

## Planning

TITLE  
03-Proposed  
Proposed Third Floor Plan - Building A

PROJECT  
Mary Arches, Exeter





**Key**

	Standard Unit		Internal Amenity
	Large Unit		External Amenity
			Facilities
			Ancillary & Plant
	Planning Application Site Boundary		

PS Planning Re Issue	06/15/08	SP	TP
PS Planning Re Issue	10/05/08	SP	TP
PS Planning Issue	03/05/05	CKM	TP
REV	NOTES	DATE	BY AUTH

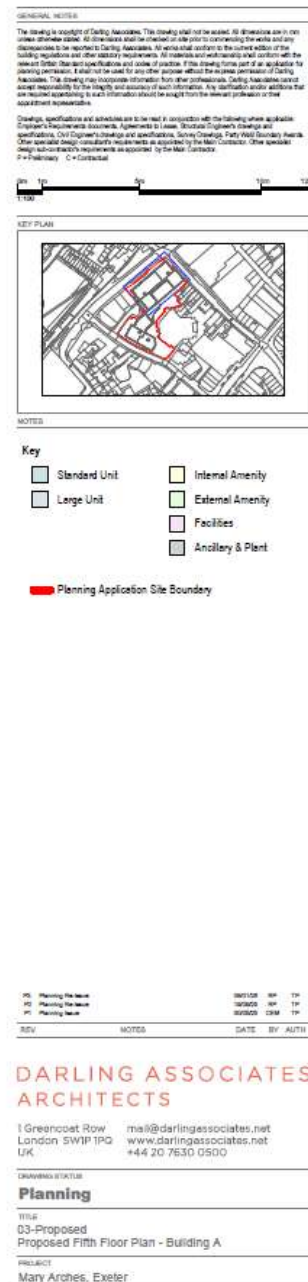
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## Planning

03-Proposed  
Proposed Fourth Floor Plan - Building A

**PROJECT**  
Mary Arches, Exeter



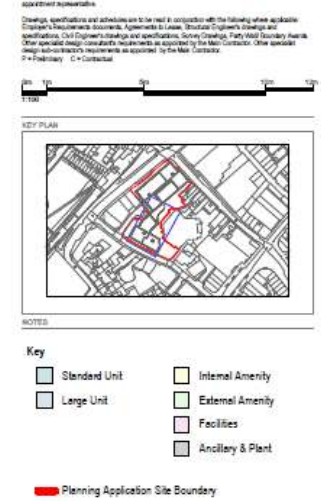
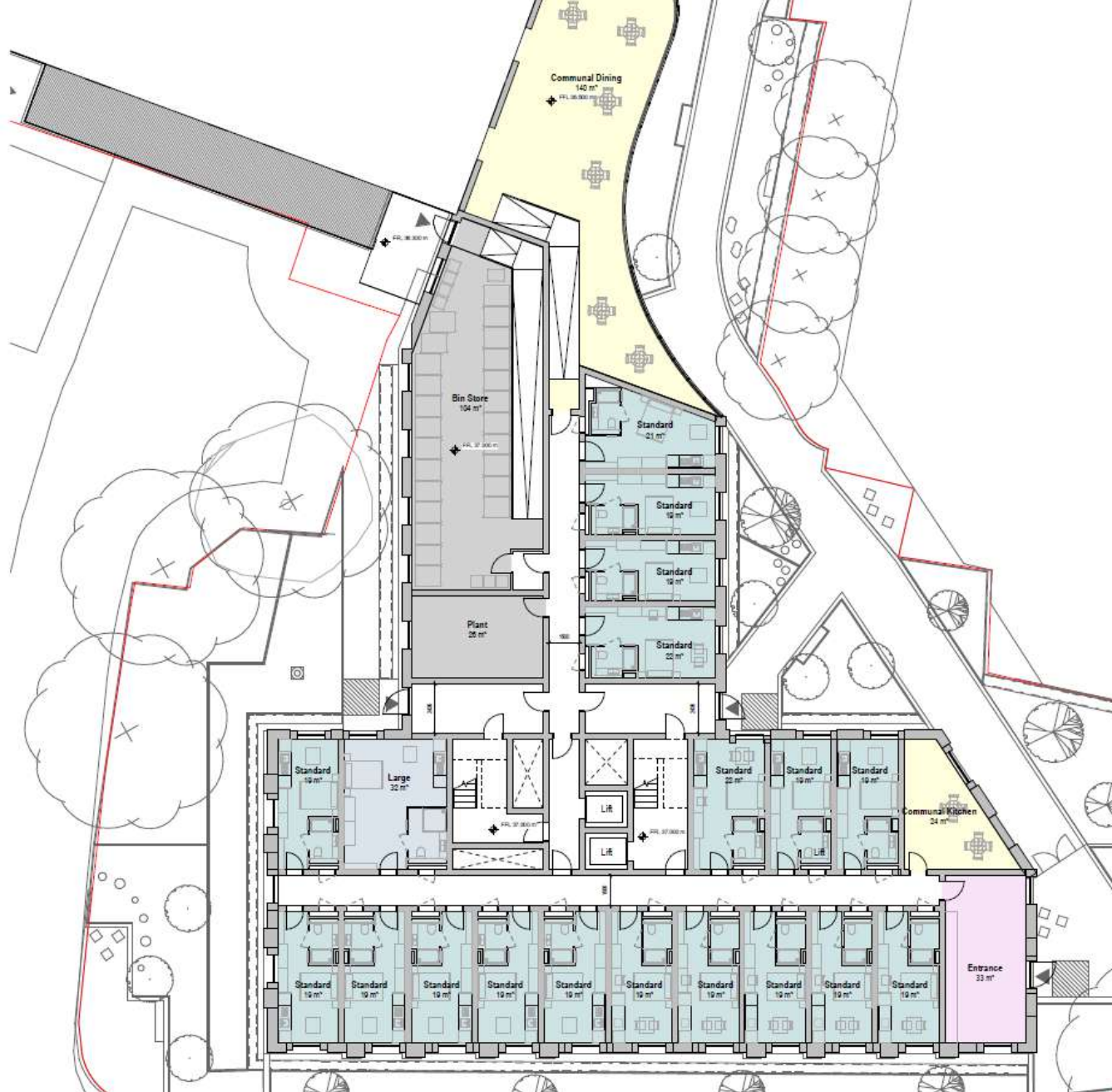






PROJECT  
Mary Arches, Exeter





PL	Planning for the site	20/01/20	10/1	10/1
PD	Planning for the site	27/01/20	10/1	10/1
PD	Planning for the site	10/02/20	10/1	10/1
PD	Planning for the site	20/02/20	10/1	10/1

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### DRAWING STATUS

### Planning

TITLE  
03-Proposed  
Proposed First Floor Plan - Building B

PROJECT  
Mary Arches, Exeter

SCALE AT A1  
1 : 100  
SCALE AT A0  
1 : 200  
DRAWN  
SMA-DAA-ZB-01-DR-A-PLB03101  
REV  
P4

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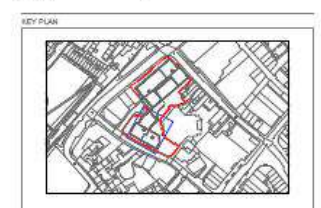
# PROPOSED BLOCK B 1<sup>st</sup> FLOOR PLAN (Ground Level)





# PROPOSED BLOCK B 2<sup>nd</sup> FLOOR PLAN





PROJECT  
Mary Arches, Exeter





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P: Planning, C: Contractor







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P = Preliminary C = Contractual



**Key**

-  Standard Unit
  Internal Amenity  
 Large Unit
  External Amenity  
 Facilities  
 Ancillary & Plant

 Planning Application Site Boundary

RE	Planning	File Name	06/01/05	RP	TP
PD	Planning	File Name	21/11/05	CRM	TP
PD	Planning	File Name	16/06/05	RP	TP
PD	Planning	File Name	02/06/05	CRM	TP

REV	NOTES	DATE	BY	AUTH
-----	-------	------	----	------

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#### DRAWING STATUS

## Planning

03-Proposed  
Proposed Fifth Floor Plan - Building B

PROJECT  
Mary Arches, Exeter





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P = Preliminary C = Contractual

**Key**

 Standard Unit      Internal Amenity  
 Large Unit      External Amenity  
 Facilities      Ancillary & Plant  
 Planning Application Site Boundary

RE	Planning Release	06/01/05	BP	TH
PO	Planning Release	21/11/05	CHM	TP
PO	Planning Release	16/08/05	BP	TP
PT	Planning Issue	02/08/05	CHM	TP
REV	NOTES	DATE	By	AUTH

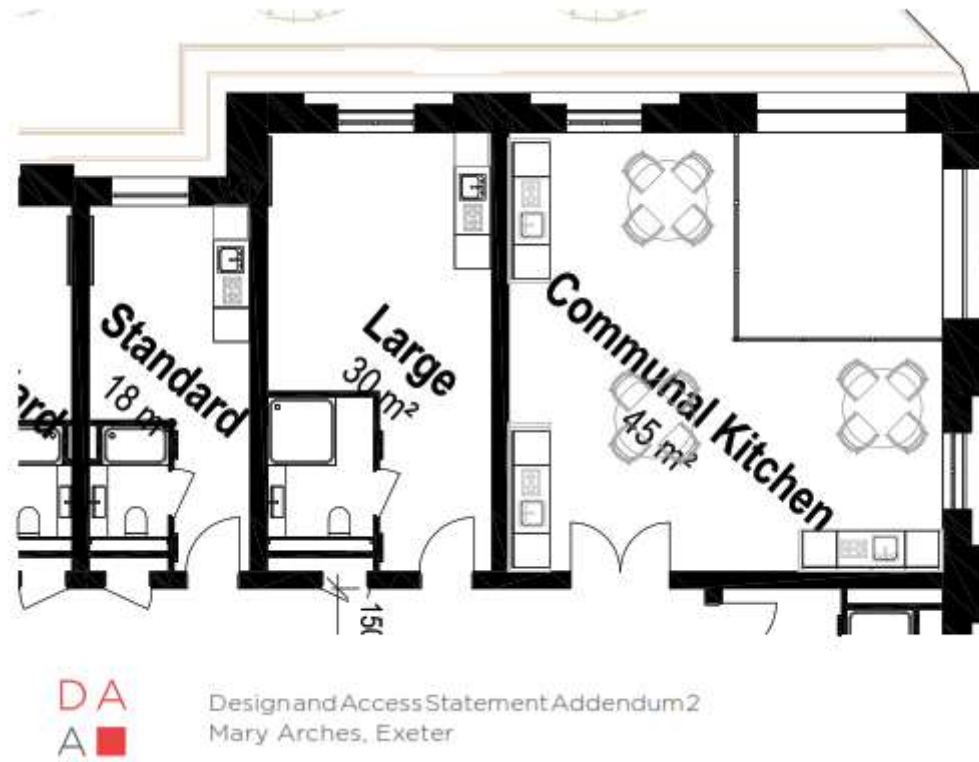
REV	NOTES	DATE	BY	AUTH
-----	-------	------	----	------

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## Planning

PROJECT  
Mary Arches, Exeter





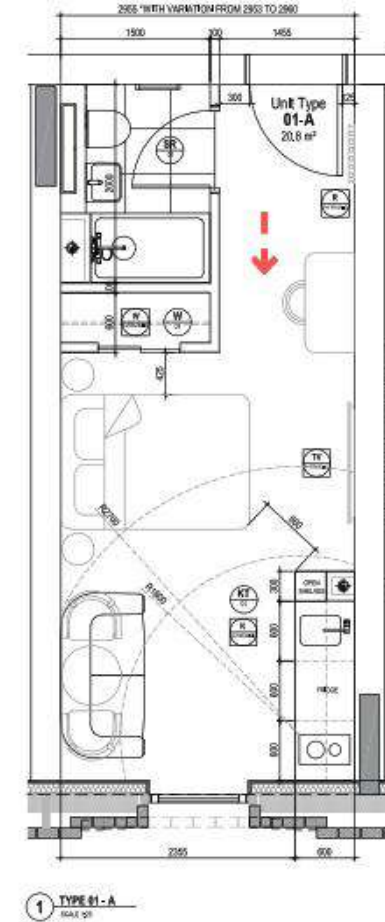
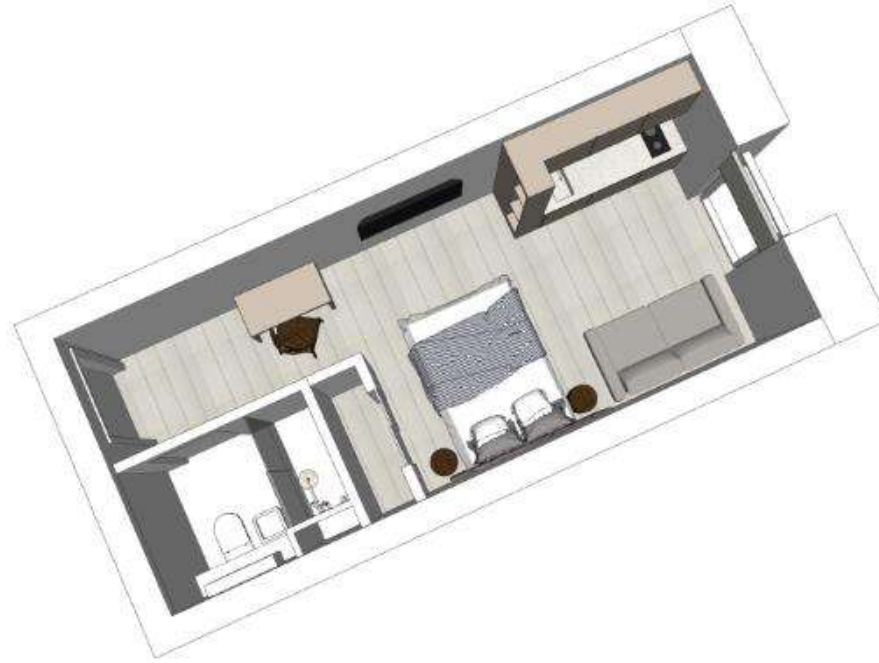
# INTERNAL STANDARDS



### 3.1 Typical Unit Layout

Co-living room sizes. Additional 3d view of 18 sqm co-living room layout to be provided.

Attached is a 3d view for an 18 m<sup>2</sup> co-living unit. We have used this unit types in previous projects. The key features include individual ensuites and kitchenettes, which must be positioned next to the windows to adhere to fire regulations. Residents should not need to escape within 1.8 m of cookers. Additionally, storage, seating, and desk spaces are provided.

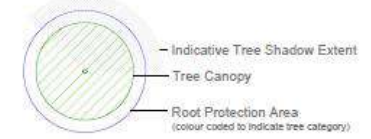






# Key:

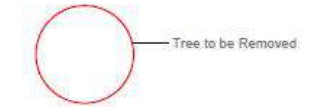
## Trees To Be Retained



Category B

Category C

## Trees To Be Removed



Scale @ A1: 1:250

Drawing should be viewed in colour.

Location of trees suffered with PA (position approximate) have been estimated on site.

## Drawing Title:

Tree Retention Plan

## Project:

Mary Arches, Exeter

## Client:

Eutopia Exeter Arches Ltd.

Date:

02/12/2025

Drawing Number:

2784-TRP-MU

Drawn:

MU

Revision:

1

# TREE RETENTION PLAN





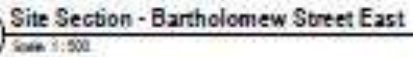
## ILLUSTRATIVE LANDSCAPE PLAN





# ILLUSTRATIVE LANDSCAPE PLAN





## SITE ELEVATIONS





2 Site Section - Mary Arches Street  
Scale: 1:500

## SITE ELEVATIONS





3

Site Section - North Street

Scale: 1" = 50'

**SITE ELEVATIONS**





1 Building A NE Elevation  
Scale 1:50

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- NOTES**
- 1 Dark Brown Brick Cladding
  - 2 Dark Brown Patterned Brick Cladding
  - 3 Buff Soldier Course Brick Cladding
  - 4 Standing Seam Zinc Roofing
  - 7 Glazing with Grey Metal Mullions
  - 8 Dark Brown Soldier Course Brick Cladding
  - 9 Decorative Solid Grey Metal Panel
  - 10 Grey Metal Balustrade
  - 13 Concrete Panel
  - 14 Scalloped Concrete Panel
  - 15 Green Glazed Bricks
  - 16 Dark Green Brick Cladding



REV	NOTES	DATE	BY	AUTH
P1	Planning Issue	05/05/20	CM	TP
P2	Planning Issue	10/05/20	AM	TP
P3	Planning Issue	21/11/20	CM	TP
P4	Planning Issue	08/01/21	AM	TP

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DRAWING STATUS	PROJECT STATUS
<b>Planning</b>	<b>S0</b>

TITLE  
03-Proposed  
Proposed North Elevation - Building A Front

PROJECT  
Mary Arches, Exeter

# BUILDING A NORTH ELEVATIONS





1 Building A SE Elevation  
Scale 1:100

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Drawings, specifications and schedules are to be read in conjunction with the following where applicable:  
Darling's Requirements Document, Agreement to Proceed, Structural Engineer's drawings and specifications, Civil Engineer's drawings and specifications, Survey Drawing, Site and Access Statement and other relevant documents.

- NOTES**
- |                                       |  |                              |
|---------------------------------------|--|------------------------------|
| 1 Dark Brown Brick Cladding           | 7 Glazing with Grey Metal Mullions         | 13 Concrete Panel            |
| 2 Dark Brown Patterned Brick Cladding | 8 Dark Brown Soldier Course Brick Cladding | 14 Scalloped Concrete Panel  |
| 3 Buff Soldier Course Brick Cladding  | 9 Decorative Solid Grey Metal Panel        | 15 Green Glazed Bricks       |
| 4 Standing Seam Zinc Roofing          | 10 Grey Metal Balustrade                   | 16 Dark Green Brick Cladding |



NO.	NOTES	DATE	BY	AUTH.
1	Planning Issue	20/06/20	CM	TH
2	Planning Issue	18/06/20	CM	TH
3	Planning Issue	17/11/18	CM	TH
4	Planning Issue	08/07/18	CM	TH

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DRAWING STATUS	MOBILITY STATUS
<b>Planning</b>	<b>S0</b>

TITLE  
03-Proposed  
Proposed East Elevation - Building A Rear

PROJECT  
Mary Arches, Exeter

# BUILDING A EAST ELEVATIONS





**1 Building A SW Elevation**  
Scale 1" = 100'

[illegible]

1 Dark Brown Brick Cladding	7 Glazing with Grey Metal Mullions	13 Concrete Panel
2 Dark Brown Patterned Brick Cladding	8 Dark Brown Solid Course Brick Cladding	14 Scallop Concrete Panel
3 Buff Soldier Course Brick Cladding	9 Decorative Solid Grey Metal Panel	15 Green Glazed Bricks
4 Standing Seam Zinc Roofing	10 Grey Metal Balustrade	16 Dark Green Brick Cladding



RDV	ADDRESS	DATE	BY	AUTH
P1	Planning Issue	30/05/20	DM	TP
P2	Planning file issue	10/06/20	RP	TP
P3	Planning file issue	21/11/20	DM	TP
P4	Planning file issue	09/01/21	RP	TP

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DRIVING STATUS	ISO 39-665 STATUS
<b>Planning</b>	<b>S0</b>

03-Proposed  
Proposed South Elevation - Building A Side

**PROJECT**  
Mary Arches, Exeter

# BUILDING A SOUTH ELEVATIONS





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NOTES			
1	Dark Brown Brick Cladding	7	Glazing with Grey Metal Mullions
2	Dark Brown Patterned Brick Cladding	8	Dark Brown Soldier Course Brick Cladding
3	Buff Soldier Course Brick Cladding	9	Decorative Solid Grey Metal Panel
4	Standing Seam Zinc Roofing	10	Grey Metal Balustrade
11	Concrete Panel	12	Scalloped Concrete Panel
13	Green Glazed Bricks	14	Dark Green Brick Cladding



REV	NOTES	DATE	BY	AUTH
P1	Planning Issue	05/05/20	DM	TP
P2	Planning Issue	05/05/20	DM	TP
P3	Planning Issue	27/11/20	DM	TP
P4	Planning Issue	08/01/21	DM	TP

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DRAWING STATUS: **Planning**

ISSUE STATUS: **S0**

TITLE: **03-Proposed Proposed West Elevation - Building A Front**

PROJECT: **Mary Arches, Exeter**

# BUILDING A WEST ELEVATIONS



**1 Building B North Elevation**  
Scale: 1" = 100'

[illegible]

1 Dark Brown Brick Cladding	7 Glazing with Grey Metal Mullions	13 Concrete Panel
2 Dark Brown Patterned Brick Cladding	8 Dark Brown Soldier Course Brick Cladding	14 Scalloped Concrete Panel
3 Buff Soldier Course Brick Cladding	9 Decorative Solid Grey Metal Panel	15 Green Glazed Bricks
4 Standing Seam Zinc Roofing	10 Grey Metal Balustrade	16 Dark Green Brick Cladding

ROW	NOTES	DATE	BY	AUTH
P1	Planning Issue	9/25/20	CRM	TP
P2	Planning the Issue	9/25/20	RP	TP
P3	Planning the Issue	10/11/20	CRM	TP
P4	Planning the Issue	9/21/20	RP	TP

PROJECT  
Mary Arches, Exeter

# BUILDING B NORTH ELEVATIONS





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Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Company's standard documents, Agreements in Law, Structural Engineer's drawings and

- NOTES**
- |                                       |  |                             |
|---------------------------------------|--|-----------------------------|
| ① Dark Brown Brick Cladding           | ⑦ Glazing with Grey Metal Mullions         | ⑬ Concrete Panel            |
| ② Dark Brown Patterned Brick Cladding | ⑧ Dark Brown Soldier Course Brick Cladding | ⑭ Scallop Concrete Panel    |
| ③ Buff Soldier Course Brick Cladding  | ⑨ Decorative Solid Grey Metal Panel        | ⑮ Green Glazed Bricks       |
| ④ Standing Seem Zinc Roofing          | ⑩ Grey Metal Balustrade                    | ⑯ Dark Green Brick Cladding |



REV	SECTION	DATE	BY	AUTH
01	Planning for the site	2018/03	DM	DM
02	Planning for the site	2018/03	DM	DM
03	Planning for the site	2018/03	DM	DM
04	Planning for the site	2018/03	DM	DM

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Drawings STATUS	PROJECT STATUS
<b>Planning</b>	<b>SO</b>

TITLE:  
03-Proposed  
Proposed East Elevation - Building B Side

PROJECT:  
Mary Arches, Exeter

# BUILDING B EAST ELEVATIONS





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NOTES			
① Dark Brown Brick Cladding	⑦ Glazing with Grey Metal Mullions	⑬ Concrete Panel	
② Dark Brown Patterned Brick Cladding	⑧ Dark Brown Soldier Course Brick Cladding	⑭ Scalloped Concrete Panel	
③ Buff Soldier Course Brick Cladding	⑨ Decorative Solid Grey Metal Panel	⑮ Green Glazed Bricks	
④ Standing Seam Zinc Roofing	⑩ Grey Metal Balustrade	⑯ Dark Green Brick Cladding	



REV	NOTES	DATE	BY	AUTH
P1	Planning Issue	06/08/20	DM	TM
P2	Planning the Issue	10/08/20	DM	TM
P3	Planning the Issue	23/11/20	DM	TM
P4	Planning the Issue	08/11/20	DM	TM

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**DRAWING STATUS** **ISSUE STATUS**

**Planning** **SO**

**TITLE**  
03-Proposed  
Proposed South Elevation - Building B Front

**PROJECT**  
Mary Arches, Exeter

# BUILDING B SOUTH ELEVATION





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NOTES		
1 Dark Brown Brick Cladding	7 Glazing with Grey Metal Mullions	13 Concrete Panel
2 Dark Brown Patterned Brick Cladding	8 Dark Brown Soldier Course Brick Cladding	14 Scalloped Concrete Panel
3 Buff Soldier Course Brick Cladding	9 Decorative Solid Grey Metal Panel	15 Green Glazed Bricks
4 Standing Seem Zinc Roofing	10 Grey Metal Balustrade	16 Dark Green Brick Cladding



REV	NOTES	DATE	BY	AUTH
01	Planning Issue	09/05/20	CM	TP
02	Planning for issue	09/05/20	AM	TP
03	Planning for issue	27/11/20	CM	TP
04	Planning for issue	08/01/21	AM	TP

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DRAWING STATUS	ISSUE STATUS
<b>Planning</b>	<b>SO</b>

TITLE  
D3-Proposed  
Proposed West Elevation - Building B Side

PROJECT  
Mary Arches, Exeter

# BUILDING B WEST ELEVATIONS





1 Site Section A-A  
Scale 1:200

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# SECTION A-A





1 Site Section B-B  
Scale: 1:200

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# SECTION B-B





1 Site Section C-C  
Scale 1:200

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# SECTION C-C





1 Site Section D-D  
Scale: 1" = 20'

[illegible]

**NOTE:**



RDV	NOTES	DATE	BY	AUTH
#1 Planning Issue		30/05/20	CHM	TP
#2 Planning No Issue		30/05/20	NP	TP
#3 Planning No Issue		23/11/20	CHM	TP
#4 Planning No Issue		08/01/21	NP	TP

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DRAWING STATUS	ISO SHEET STATUS
<b>Planning</b>	<b>S0</b>

TITLE  
03-Proposed  
Proposed Site Section D-D

PROJECT  
Mary Arches, Exeter

## SECTION D-D





1 Site Section E-E  
Scale: 1:200

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# SECTIONS





**LONG RANGE VIEW**





LONG RANGE VIEW





**VERIFIED VIEW**





VERIFIED VIEW





VERIFIED VIEW





**NON-VERIFIED CGI VIEW**





**NON-VERIFIED CGI VIEW**



The key planning issues are:

1. Principle of development – loss of car parking and retail and development of Co-Living accommodation.
2. Impact on heritage assets
3. Scale, design, appearance, density
4. Impacts on the amenity of neighbouring occupiers
5. Amenity of future occupiers
6. Impact on landscape and biodiversity
7. Travel, access and parking
8. Sustainable Construction and Energy Conservation
9. Flood Risk and Surface Water Management
10. Pollution
11. Affordable Housing
12. Mixed Communities
13. Housing supply
14. Economic benefits
15. Community Infrastructure Levy
16. Planning Obligations



## Benefits

- The provision of 297 Co-living dwelling units of which 60 Affordable Private Rent Units of which 3 are Wheelchair units on a highly sustainable site is given significant weight in decision making.
- The redevelopment of an underdeveloped site and the removal of buildings that make a negative contribution to the setting of Listed Buildings and the Character and Appearance of the Central Conservation Area centre, and the enhanced public engagement with the Archaeological Investigation of the site, is given positive weight in decision making.
- The car free development of the site that will reduce traffic movement in the city centre is given moderate positive weight given the modest reductions in traffic and impact on overall air quality.
- Contributions from the development to offset the impact of the development on services and public spaces are given limited positive weight.

## CONCLUSION



## Harms

- The harm to the setting of Listed Buildings and the Character and Appearance of the Central Conservation Area at the upper end of less than substantial harm is given significant weight in decision making given the special regard that is required to be had to the assets and that the harm would be long lasting.
- The loss of trees and reduction in on site biodiversity, which will need to be compensated off site, is given significant weight in decision making
- The loss of renewable energy generating capacity is given moderate weight in decision making.

The Council is not currently able to demonstrate a 5-year housing land supply (supply at 01 April 2025 was 4 years 3.2 months). As a consequence, the presumption in favour of sustainable development as set out in Paragraph 11 of the NPPF is to be applied.

The Supreme Court judgement confirmed that for the purposes of applying a tilt in favour of sustainable development, known as the 'tilted balance' (NPPF Para. 11(d)), policies of the development plan will remain applicable, but it will be for the local planning authority to determine the balance of policies for the protection of environment and amenity against the need for housing and the economy.

The tilted balance is therefore to be borne in mind when balancing the planning issues that have been outlined in the committee report.

## CONCLUSION



In light of the officer assessment set out in the 'Planning Balance' section of the report, and taking into consideration the guidance in paragraph 11 of the NPPF, it is considered that the benefits of the development proposed, in terms of provision of residential development to meet demonstrated housing need, outweigh the heritage harm and all other harms and that the design of the building, whilst not achieving all the desirable design objectives, is acceptable given the impact of the current site on the Conservation Area and Setting of Listed and Locally Listed buildings.

## CONCLUSION

A. DELEGATE TO HEAD OF CITY DEVELOPMENT TO **GRANT PERMISSION** SUBJECT TO THE COMPLETION OF A LEGAL AGREEMENT UNDER SECTION 106 OF THE TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TO SECURE THE FOLLOWING:

- 20% of Co-living Units (60 units) as 'Affordable Private Rent', including 3 wheelchair M4(3) units.
- Highways Contributions totalling £139,050 and £10,000 for Traffic Orders.
- Car Club Contributions £146,434.62 for vehicle provision, and associated £7,269 TROs and £7,269 Road Markings
- Provision of permissive path, including public access and ongoing maintenance
- Co-living Management Plan, including measures to discourage car ownership and use
- Primary Health Care contribution £87,184 towards expansion of GPs surgery provision
- Contribution of £457 per bedspace towards the provision and improvement of off-site public open spaces serving the development.
- Contribution of £ 278 (per bedspace towards the provision or improvement of off-site playing fields city-wide.
- Habitat Regulations mitigation - Exe Estuary (Affordable units only) - £1278.71
- 24/7 onsite management presence
- A financial contribution £93,000 to support public engagement of archaeological investigation and its findings
- Restrictions on Full Time Student Occupation of 10%
- S106 and Bio-diversity Net Gain Monitoring Fees

And the conditions listed in this report and in the update sheet, the wording of which may be varied.

## OFFICER RECOMMENDATION (Part A)



**B. REFUSE** PERMISSION IF THE LEGAL AGREEMENT UNDER SECTION 106 OF THE TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) IS NOT COMPLETED WITHIN 6 MONTHS OF THE DATE OF COMMITTEE, OR SUCH EXTENDED TIME AS AGREED IN WRITING BY THE SERVICE LEAD (CITY DEVELOPMENT).

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# Exeter City Council Planning Committee 19 January 2026



Exeter  
City Council

# **Applications 25/0895/FUL and 25/0896/LBC**

**Site: Site of Royal Clarence Hotel, Cathedral Yard**

**Applicant: Nooko Developments Ltd**

**Proposal: Redevelopment of the Royal Clarence, to include 25 new residential dwellings on the upper floors with part residential on the ground and part basement floor. Commercial on the remaining ground and basement floor as a public house and restaurant.**

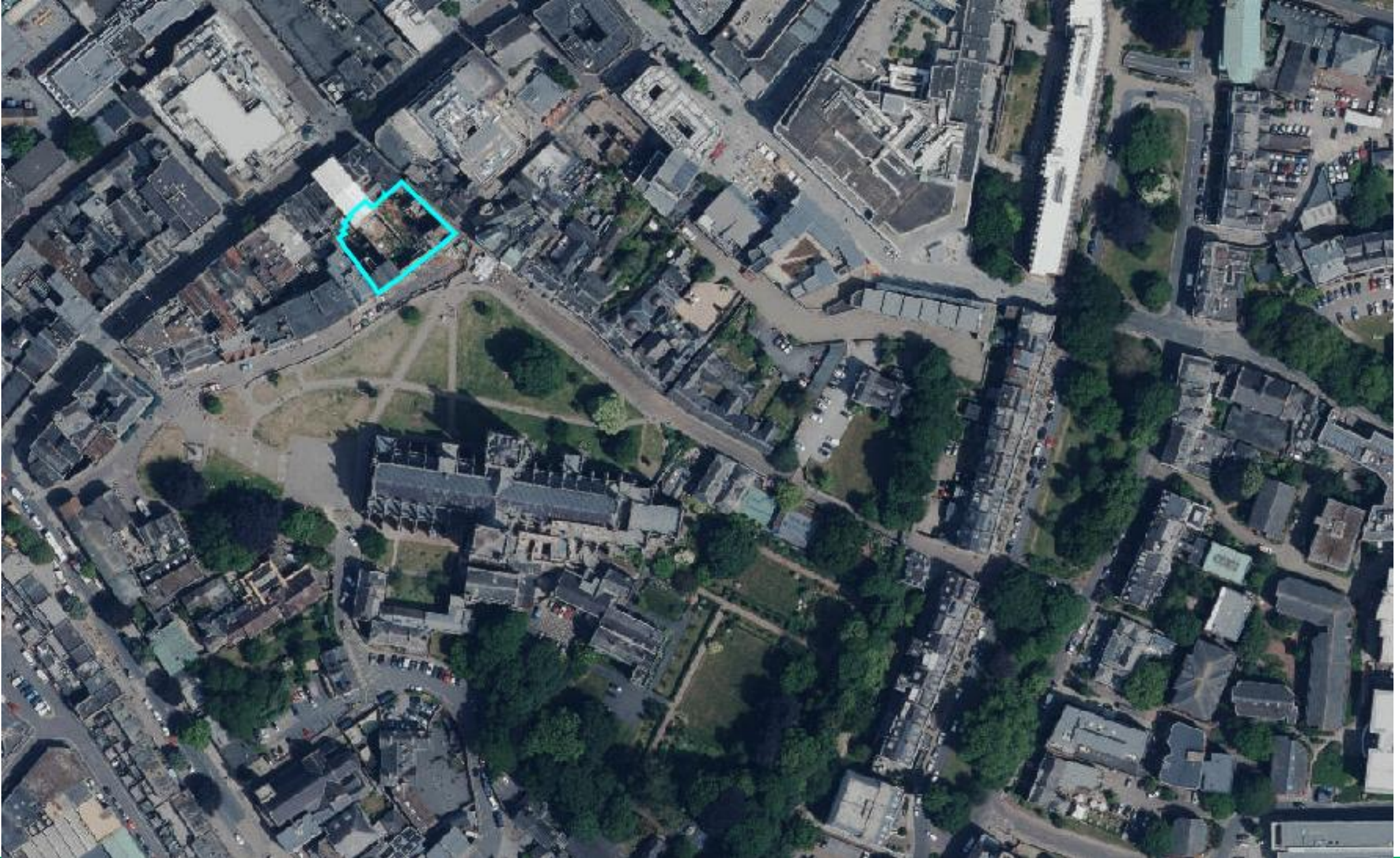
**Case Officer: Christopher Cummings**





# SITE LOCATION PLAN





**AERIAL VIEW**





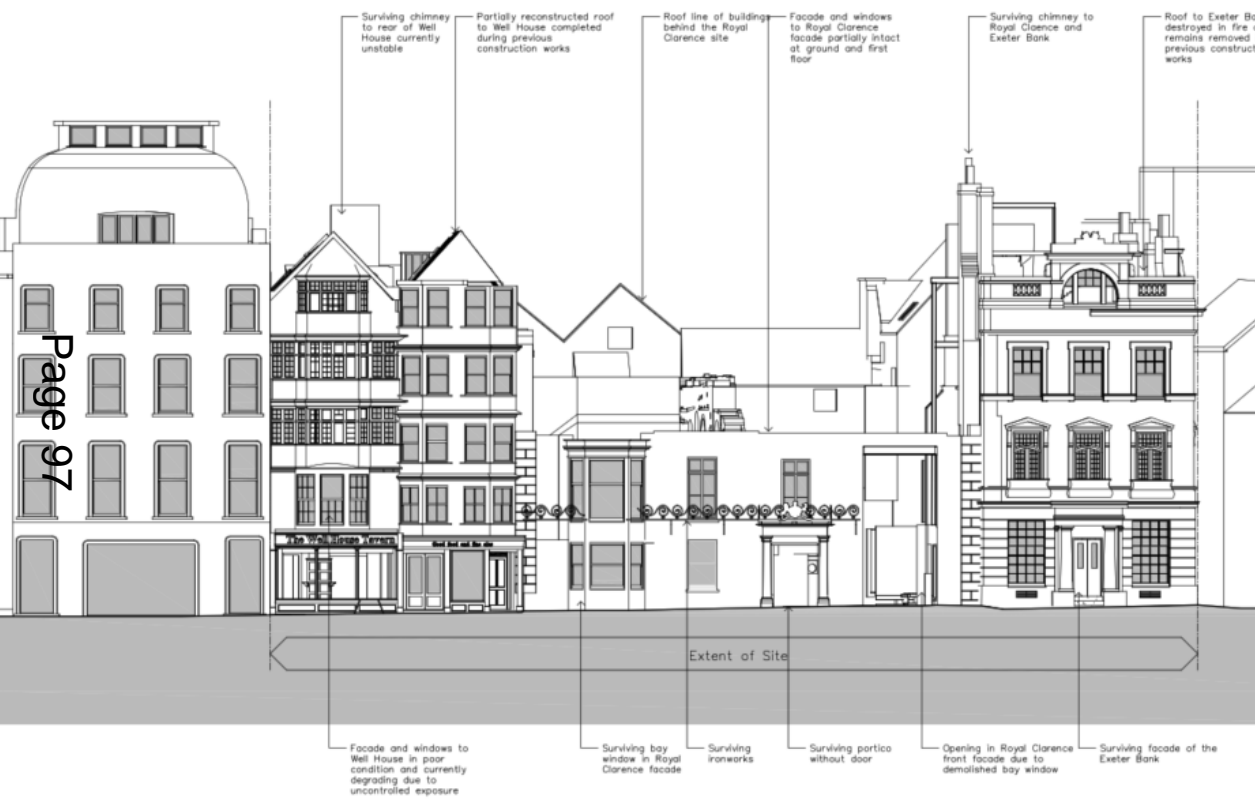
**EXISTING SITE PHOTO**





THE WELL HOUSE





EXISTING



PROPOSED

# EXISTING AND PROPOSED FRONT ELEVATIONS



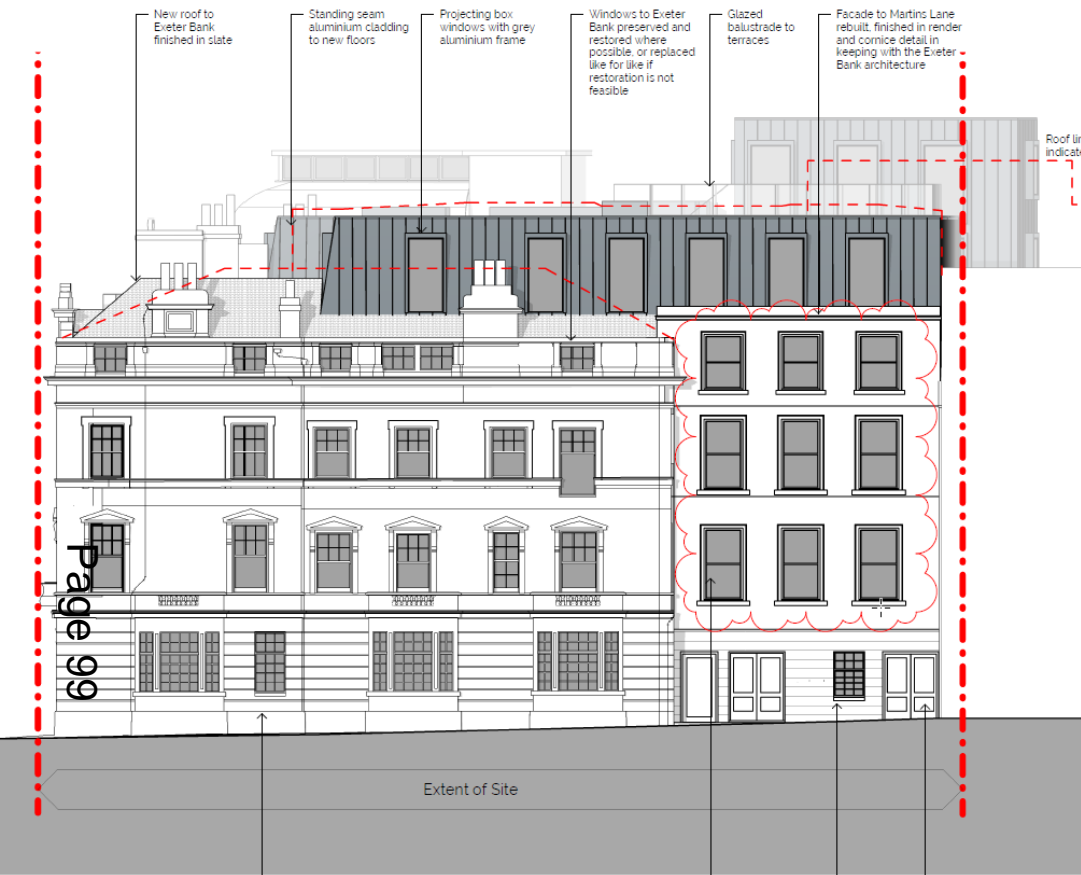
APPROVED 22/0236/FUL



PROPOSED

PREVIOUS APPROVAL AND PROPOSED (CATHEDRAL GREEN)





APPROVED 22/0236/FUL



PROPOSED

PREVIOUS APPROVAL AND PROPOSED (MARTINS LANE)



# PROPOSED FIRST FLOOR





**PROPOSED VISUAL**

- Ground floor public house and restaurant with 25 dwellings on upper floors.
- Building height varying from 5 to 6 storeys
- Upper floors of Well House to be demolished (more modern aspects) with lower levels retained.



- Acceptable use of commercial and residential
- Accepted viability position and clawback mechanism will be secured.
- Less than significant harm to the listed building through careful retention and bringing vacant site back into use.

**DELEGATE TO THE HEAD OF CITY DEVELOPMENT TO GRANT PERMISSION  
SUBJECT TO THE COMPLETION OF A LEGAL AGREEMENT UNDER SECTION 106  
OF THE TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TO SECURE  
THE FOLLOWING:**

- £1,284.72 per dwelling for recreational impacts on the Exe Estuary protected marine site.

Subject to a Deferred Contributions Mechanism

- 35% Affordable Housing to be paid as a financial contribution of £2,394,258.82.

- £16,083 for expansion of oversubscribed GP surgeries at Barnfield Hill, Southernhay House, St Leonards Practice and St Thomas Health Centre.

And the conditions set out in the application report/supplementary information sheet



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25/0896/LBC

**DELEGATE TO HEAD OF CITY DEVELOPMENT TO GRANT LISTED BUILDING  
CONSENT SUBJECT TO THE CONDITIONS SET OUT IN THE OFFICER  
REPORT/SUPPLEMENTARY INFORMATION SHEET**

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**OFFICER RECOMMENDATION (CONT.)**





# EXISTING BASEMENT



# EXISTING GROUND FLOOR





# EXISTING FIRST FLOOR



# EXISTING FIRST FLOOR MEZZANINE





## EXISTING SECOND FLOOR



# EXISTING THIRD FLOOR





# PROPOSED BASEMENT



# PROPOSED GROUND FLOOR





# PROPOSED FIRST FLOOR



# PROPOSED FIRST FLOOR MEZZANINE





# PROPOSED SECOND FLOOR

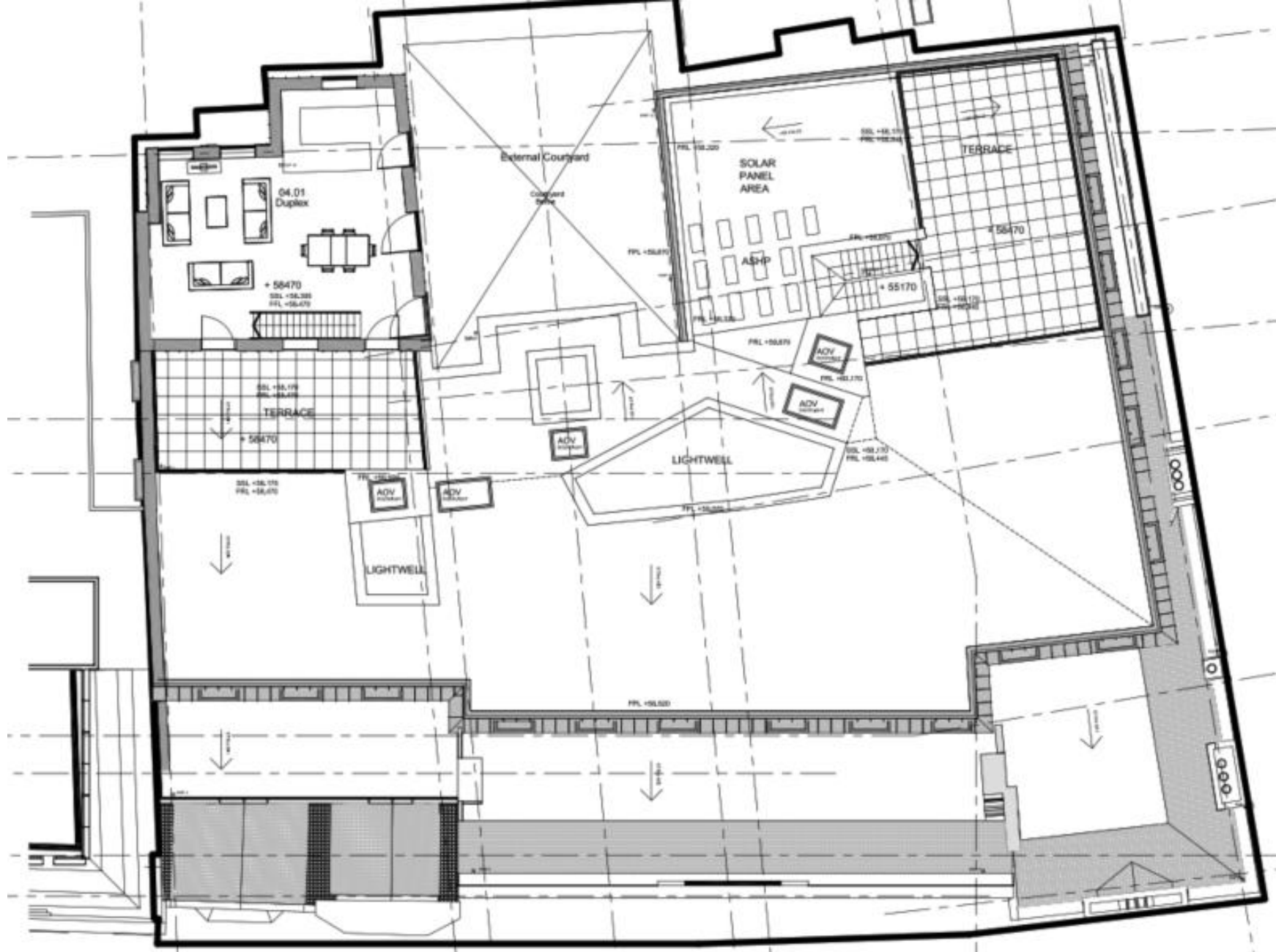


# PROPOSED THIRD FLOOR



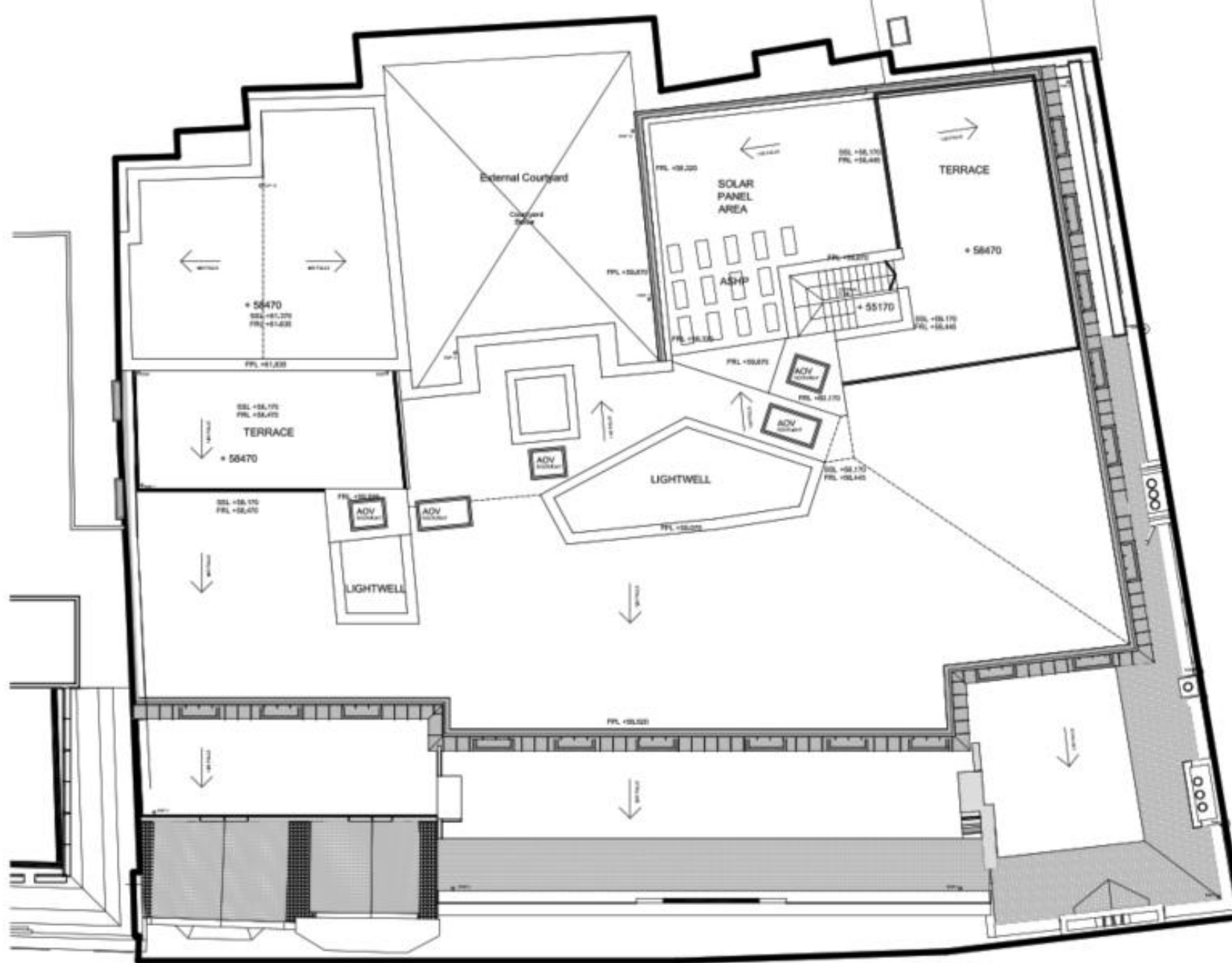


# EXISTING FOURTH FLOOR



## EXISTING FIFTH FLOOR



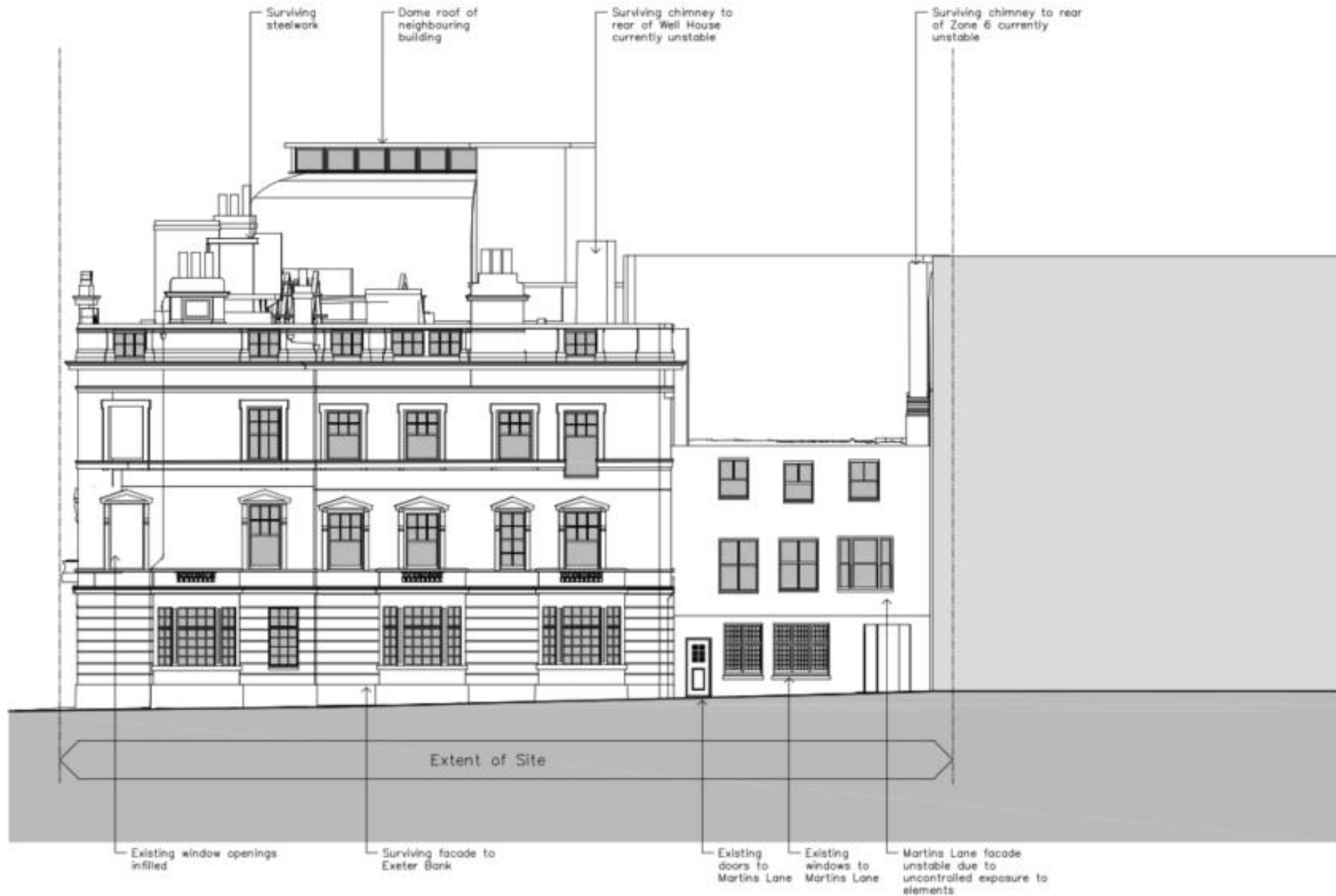


**PROPOSED ROOF PLAN**

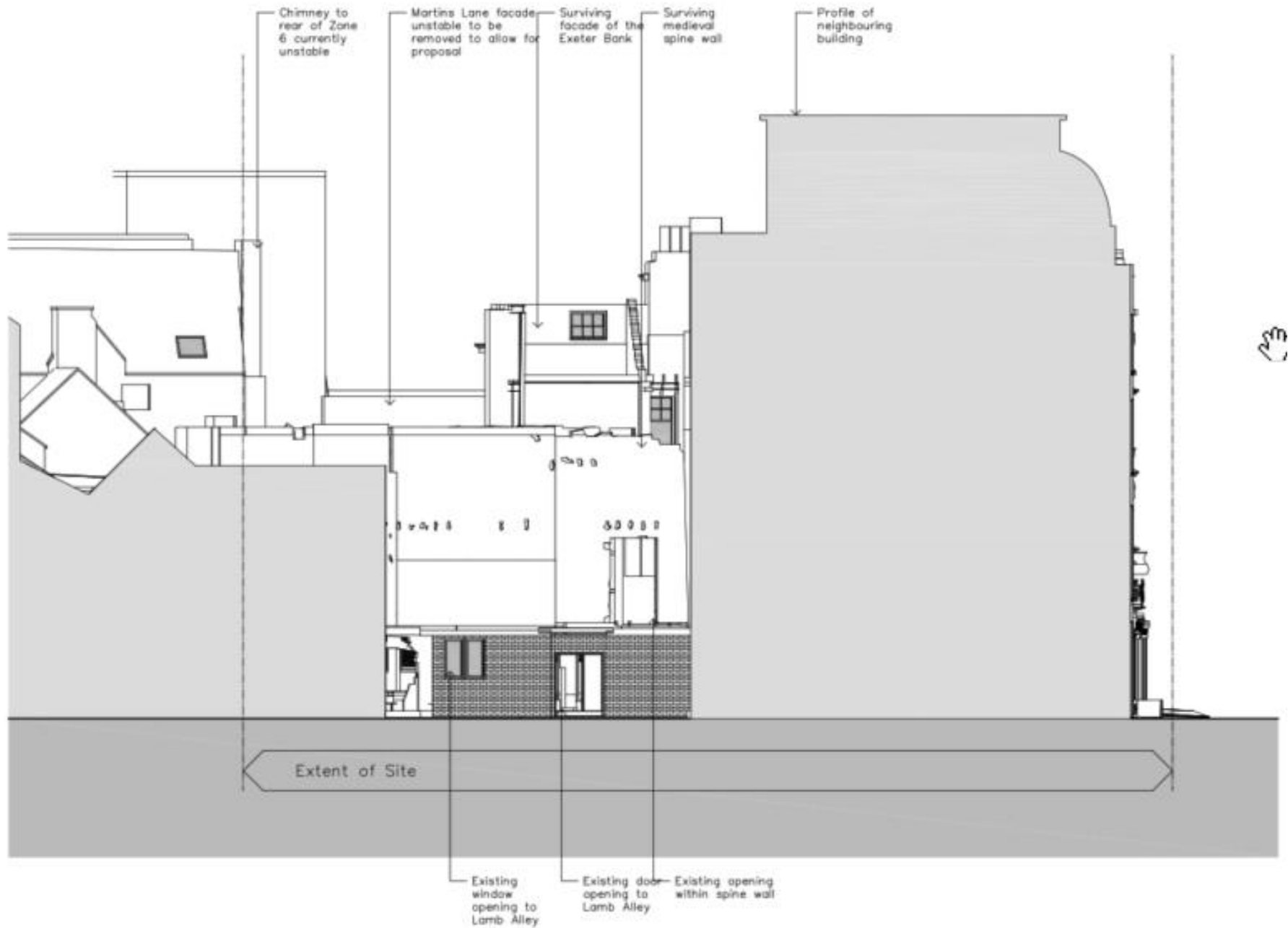


## EXISTING SOUTH ELEVATION (CATHEDRAL YARD)



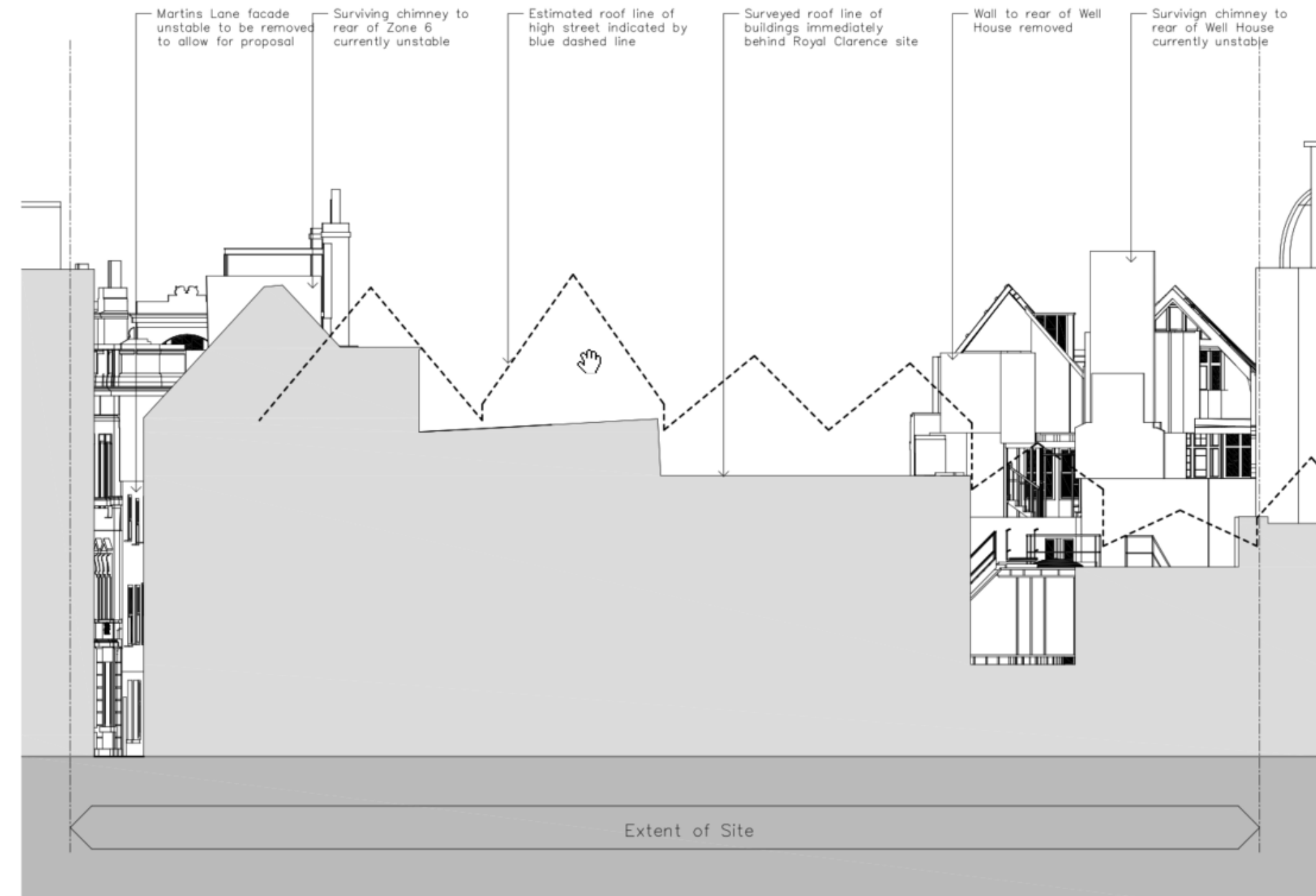


# EXISTING NORTH EAST ELEVATION (MARTINS LANE)



## EXISTING SOUTH WEST ELEVATION (LAMB ALLEY)





## EXISTING NORTHE WEST ELEVATION (REAR)

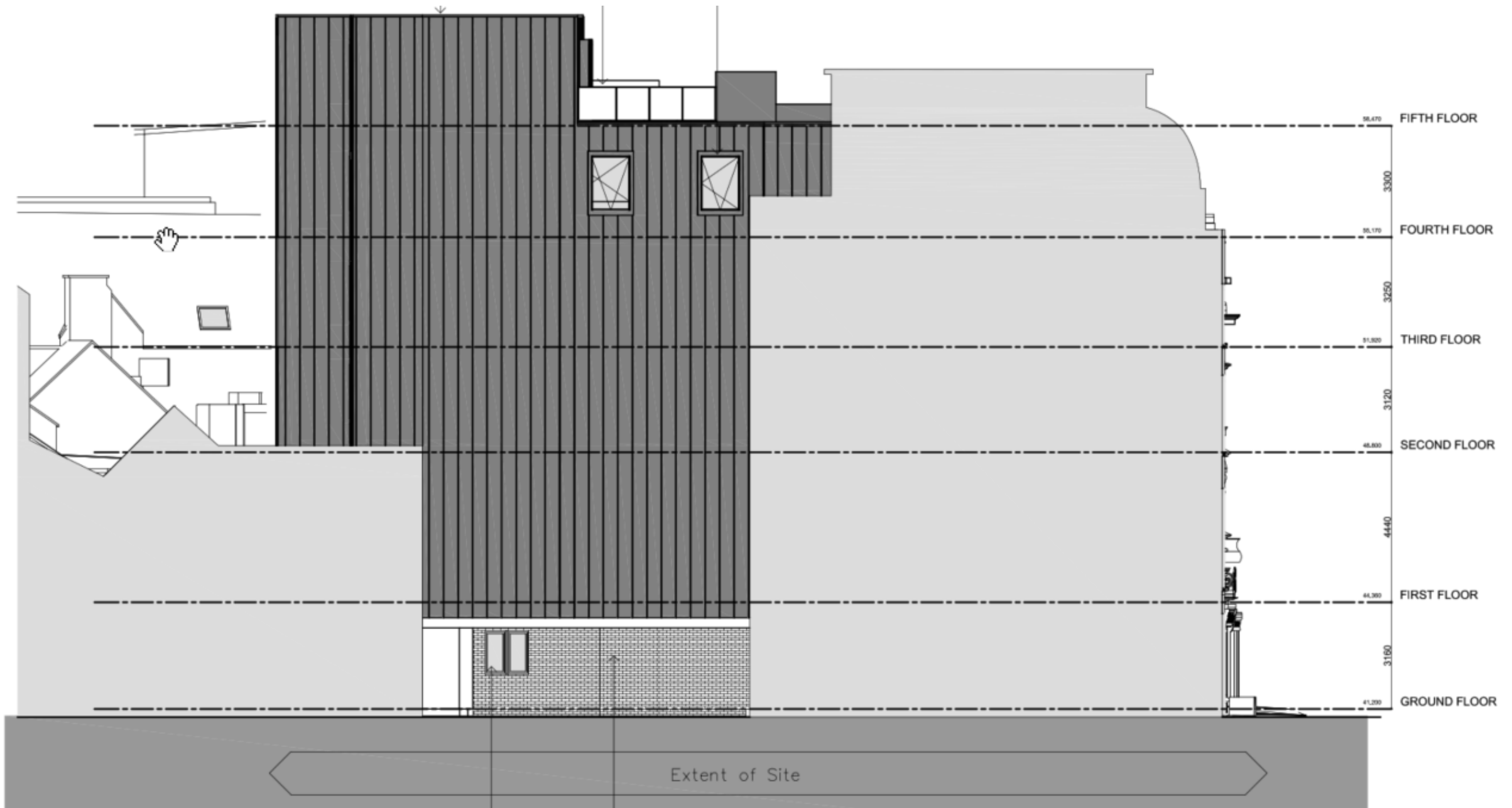


# PROPOSED SOUTH EAST ELEVATION (CATHEDRAL YARD)



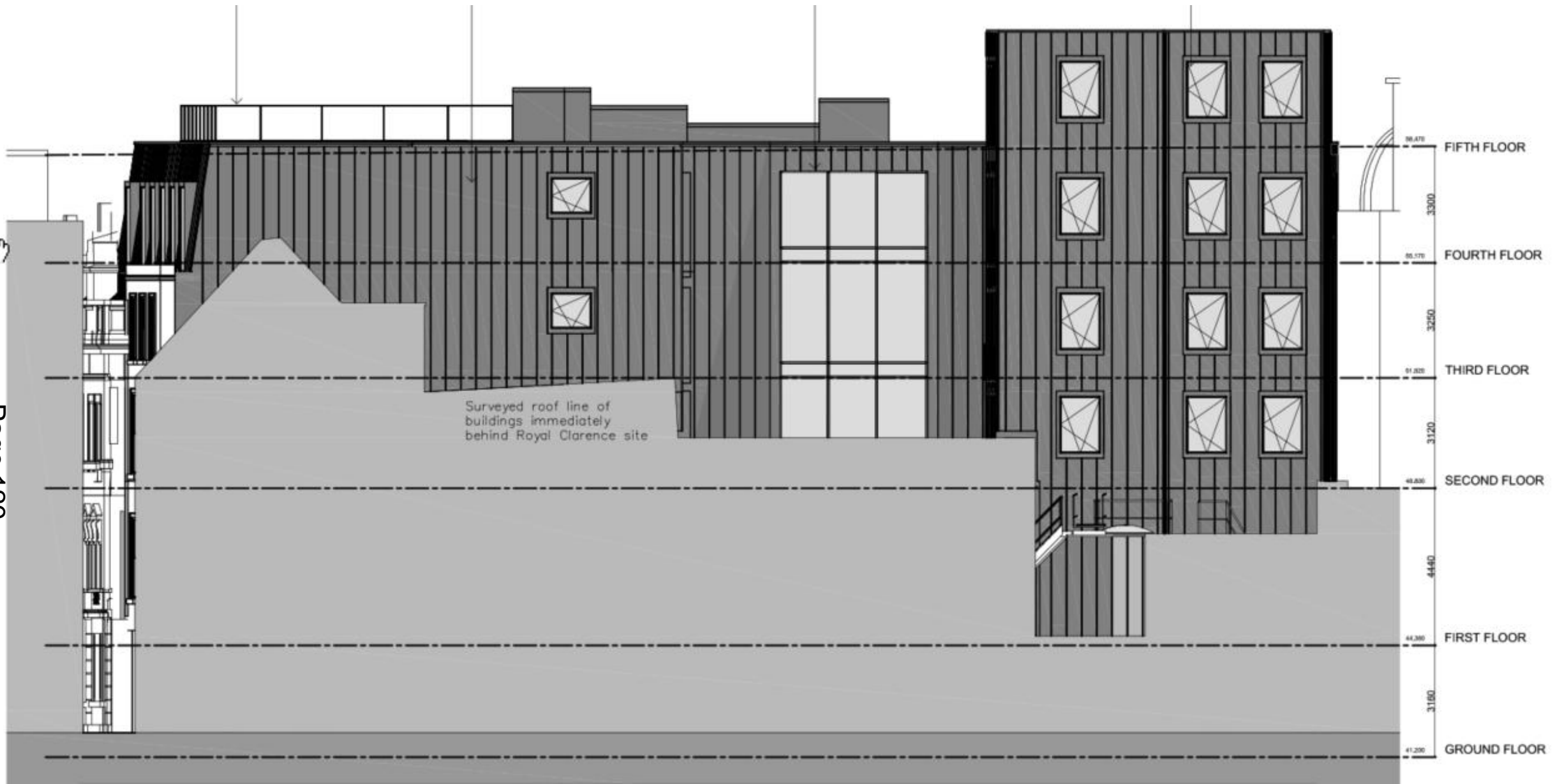


# PROPOSED NORTH EAST ELEVATION (MARTINS LANE)



# PROPOSED SOUTH WEST ELEVATION (LAMB ALLEY)





# PROPOSED NORTH WEST ELEVATION (REAR)

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